



RFA GOVERNANCE BOARD REGULAR MEETING AGENDA

10:00 A.M. – Monday, September 9, 2019
Fire Station #13 – 18002 108th Ave S.E., Renton

- Call Meeting to Order
- Flag Salute
- Roll Call
- Agenda Modifications
- Announcements, Proclamations, and Presentations
- Public Comment

Members of the audience may comment on items relating to any matter related to RFA business under the Public Comment period. Comments are limited to three (3) minutes per person, and a total of fifteen (15) minutes per topic pursuant to the rules established under Section 8 of the Bylaws. Citizens may also speak on individual agenda items on the printed agenda at the time they are considered by the Board as requested by the Chair.
- Consent Agenda
 - Approval of [Minutes from the August 12, 2019](#) Regular Meeting
 - Approval of [Vouchers](#): AP Check Register 8/1/19 – 8/31/19, Payroll 7/16/19 – 8/15/19
- Signing of Vouchers
- Board Committee Reports
- [Chief's Report](#)
- Division Reports
- Correspondence
- Unfinished Business
 - Governing Board Committee Formation
- New Business
 - [Establish Public Hearing Dates](#)
 - [Station 11 Generator Replacement and Fleet Shop Improvements](#)

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- Good of the Order
 - Station 13 Tour
- Executive Session
 - *Executive Session pursuant to RCW 42.30.110(i), To discuss with legal counsel representing the agency matters relating to agency enforcement actions, or to discuss with legal counsel representing the agency litigation or potential litigation to which the agency, the governing body, or a member acting in an official capacity is, or is likely to become, a party, when public knowledge regarding the discussion is likely to result in an adverse legal or financial consequence to the agency.*
- Future Meetings:
 - Monday, October 14, 2019, 10:00 a.m., Governance Board Regular Meeting, Fire Station #13 (18002 108th Ave S.E., Renton)
- Adjournment



Renton Regional Fire Authority

18002 108th Ave SE
Renton, WA 98055
Office: (425) 430-7000
Fax: (425) 430-7044

MINUTES

RFA Governance Board Regular Meeting

10:00 A.M. – Monday, August 12, 2019

Fire Station #13 – 18002 108th Ave S.E., Renton

CALL TO ORDER AND FLAG SALUTE

Governance Board Chair Pavone called the Regular Meeting to order at 10:08 a.m. and led the Pledge of Allegiance.

ROLL CALL

Governance Board Members Present:

Armondo Pavone, Chair (City of Renton)
Myron Meikle (Fire District 25)
Don Persson (City of Renton)
Marcus Morrell (Fire District 25)
Linda Sartnurak (Nonvoting Advisory Position, Fire District 40)

Governance Board Members Not Present:

Ed Prince (City of Renton)
Kerry Abercrombie, Vice Chair (Fire District 25)

Administrative Staff Present:

Chief Rick Marshall, Deputy Chief Roy Gunsolus, Deputy Chief Chuck DeSmith, Chief Administrative Officer Samantha Babich, Fire Marshal Anjela St. John, Battalion Chiefs Craig Soucy, and Will Aho, Captain Dan Hawkins, Lieutenant Rick Laycock, Fleet Manager Brice Callaway, Administrative Supervisor Christine Noddings, and Administrative Secretary Rhonda Heyden.

A **MOTION** was made by Board Member Meikle and **SECONDED** by Board Member Persson to excuse the absent Board Members from the meeting. **MOTION CARRIED (4-0)**

AGENDA MODIFICATIONS

There were no agenda modifications.

ANNOUNCEMENTS, PROCLAMATIONS, AND PRESENTATIONS

There were no announcements, proclamations, or presentations.

PUBLIC COMMENT

There were no public comments.

CONSENT AGENDA

A **MOTION** was made by Board Member Persson and **SECONDED** by Board Member Meikle to approve the consent agenda for August 12, 2019. **MOTION CARRIED (4-0)**

SIGNING OF VOUCHERS

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The members of the Finance Committee signed the Voucher Approvals for August 12, 2019.

BOARD COMMITTEE REPORTS

There were no Board Committee reports.

CHIEF'S REPORT

Chief Marshall's report included the following:

- Congratulations are in Order: Congratulations to Administrative Supervisor Christine Noddings for graduating with her Associate Degree in Science from Green River Community College. Congratulations to Deputy Fire Marshal Sara Ferguson for successfully completing her International Code Council (ICC) Fire Inspector I certification.
- Budget Kickoff Meeting: On July 24, approximately twenty (20) members attended our annual budget kickoff meeting. We had the chance to go over essential information regarding the upcoming 2020 budget-planning season.
- Open House Event: An Open House Event will be held at all Renton Fire stations from 1-4pm on the following dates: 9/7 at Station 11, 9/14 at Station 12, 9/21 at Station 13, 9/29 at Station 14, 10/5 at Station 15, 10/12 at Station 16, and 10/19 at Station 17.
- Contracts: Per policy, Chief Marshall is notifying the Board of the following contract purchases – Custodial Services Contract for 2020 (\$37,950.00), Vehicle MDC Replacement Upfitting (\$42,838.09). Both are services formerly provided by the City of Renton that we will be responsible for after January 1, 2020.

DEPARTMENT REPORTS

There were no department reports.

CORRESPONDENCE

We received a thank you letter from Mercer Island Fire Department for our assistance with a Dive/Rescue call off the beach of Luther Burbank Park on Sunday, July 21st.

UNFINISHED BUSINESS

Revised ByLaws and Resolution 2019-3

At the July 8, 2019 Board Meeting, the Board was in agreement that separate committees should be created for things such as Finance, Fleet and Facilities. Counsel stated that a resolution would need to be drafted to amend the bylaws that are currently in place regarding committees.

The changes suggested by Attorney Snure have been applied, per Governing Board approval during the July 22nd meeting. A resolution was also created to establish a new regular meeting schedule as the Governing Board meetings will be moving to one meeting a month.

A **MOTION** was made by Board Member Persson and **SECONDED** by Board Member Meikle to adopt the revised GB Bylaw changes as presented and to adopt Resolution 2019-3 which identifies our new regular meeting schedule. **MOTION CARRIED (4-0)**

NEW BUSINESS

Landscape Maintenance Contract - 2020

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We would like to enter into a contract for 2020 with Plantscapes Horticultural Services to service all RRFA owned facilities. Contract for service will begin January 1, 2020. The contract will enhance landscaping service previously done under the ILA by the CoR.

Plantscapes will perform monthly service along with emergency call out by the RRFA Facilities Manager. The scope includes service for: lawn, beds, trees/shrubs, irrigation, sweep/blow, fertilize. The Facilities Manager has full control on special needs for each facility, and services can be altered with written notice.

A **MOTION** was made by Board Member Meikle and **SECONDED** by Board Member Morrell to approve the contract proposal to be placed in the 2020 budget, and authorize the Fire Chief to sign.
MOTION CARRIED (4-0)

McKinstry Facility Maintenance Contract - 2020

We would like to enter into a contract for 2020 with McKinstry to service all RRFA owned facilities. Contract for service will begin January 1, 2020. The contract will enhance facility service previously done under the ILA by the CoR. Specific enhancements include grant writing for energy saving improvements, a no-cost facility re-assessment in November of 2019, quarterly energy audits, and improved Capital Facility repair bid process.

McKinstry will perform preventative/repair service and testing, along with emergency call out via the RRFA Facilities Manager (2 hr. or less response). Scope includes service for: HVAC, back-flow/plumbing, fire sprinkler/alarm/monitoring, emergency generator, and general maintenance for eight RRFA facilities.

A **MOTION** was made by Board Member Persson and **SECONDED** by Board Member Meikle to approve the contract proposal to be placed in the 2020 budget, and authorize the Fire Chief to sign.
MOTION CARRIED (4-0)

BERK Consultants Contract for Strategic and Capital Facilities Plan

We would like to enter into a contract with BERK Consultants to develop an effective and widely-supported strategy. The proposal includes: online community survey, community open house, and an annual update of the Capital Facilities Plan. This plan will set the direction of the RRFA for the next five years, and is an integral part of becoming a nationally accredited agency.

The strategic plan would begin in January 2020 with a kick-off and project launch. A selected strategic planning team would meet BERK on a monthly basis to assess our needs, engage organizational members/key community partners, final draft and implementation. The anticipated finish date is July of 2020.

A **MOTION** was made by Board Member Meikle and **SECONDED** by Board Member Morrell to approve the contract proposal to be placed in the 2020 budget, and authorize the Fire Chief to sign.
MOTION CARRIED (4-0)

Station 13 Conference Room Audiovisual (A/V) System Upgrade - Avidex

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We have selected a vendor to upgrade the audio video system in the conference room, which includes a projection system replacement, flat panel display addition, video input additions, new distributed audio system, new control system, and a video teleconferencing system.

Staff invited several audiovisual (AV) companies to discuss the upgrade of the conference room AV equipment and conferencing options. Avidex was the only vendor to respond in a timely manner, and therefore became the vendor of choice. Proposals are based on State DES contract pricing and includes both hardware and professional service including one year of support.

A question was asked about the 200% prevailing wage that was mentioned in the contract and why it was so high. CAO Babich is going to contact the vendor and will get back to the board.

Subject to final legal review, a **MOTION** was made by Board Member Persson and **SECONDED** by Board Member Meikle to approve the Audiovisual Solution Proposal and authorize the Chief to engage in pursuing professional services with Avidex. **MOTION CARRIED (4-0)**

GOOD OF THE ORDER

The Station 13 tour that was scheduled for today is going to be postponed so that all board members can be present.

EXECUTIVE SESSION

- *Executive Session pursuant to RCW 42.30.140(4), collective bargaining sessions with employee organizations, including contract negotiations, grievance meetings, and discussions relating to the interpretation or application of a labor agreement.*
- *Executive Session pursuant to RCW 42.30.110(i), To discuss with legal counsel representing the agency matters relating to agency enforcement actions, or to discuss with legal counsel representing the agency litigation or potential litigation to which the agency, the governing body, or a member acting in an official capacity is, or is likely to become, a party, when public knowledge regarding the discussion is likely to result in an adverse legal or financial consequence to the agency.*

Executive Session was called at 10:45 a.m. for 20 minutes. The meeting reconvened at 11:05 a.m.

FUTURE MEETINGS

The next meeting is scheduled for Monday, September 9, 2019, 10:00 a.m. at Fire Station #13 (18002 108th Ave S.E., Renton).

ADJOURNMENT

The meeting was adjourned at 11:06 a.m.

Armondo Pavone, Board Chair

Linda Mann, Administrative Secretary

VOUCHER APPROVAL FOR SEPTEMBER 9TH, 2019 MEETING

AUDITING OFFICER CERTIFICATION

I, the undersigned, do hereby certify under penalty of perjury that the materials have been furnished, the services rendered or the labor performed as described herein, that any advance payment is due and payable pursuant to a contract or is available as an option for full or partial fulfillment of a contractual obligation, and that the claim is a just, due and unpaid obligation against the Renton Regional Fire Authority, and that I am authorized to authenticate and certify said claim.

Auditing Officer: _____

Rick Marshall, Fire Chief

AUDIT COMMITTEE

The vouchers below have been reviewed and certified by individual departments and the RFA's Auditing Officer as required by RCW's 42.24.080 & 090, and a list of vouchers has been provided for review by the Finance Committee.

The undersigned members of the Finance Committee of the Renton Regional Fire Authority do hereby approve for payment accounts payable vouchers totaling \$1,308,951.38, payroll vouchers and direct deposits totaling \$1,071,619.67

A/P VOUCHERS	Payment Date	Numbers	Amount
Checks	08/01/2019 - 08/31/2019	11278-11350	\$526,546.27
EFTs	08/01/2019 - 08/31/2019		\$240,048.24
Bank Drafts	08/01/2019 - 08/31/2019		\$542,356.87
TOTAL A/P			\$1,308,951.38
		No. of Vouchers	Amount
PAYROLL VOUCHERS			
Direct Deposits	8/9/2019	168	\$533,371.48
Payroll Checks	8/9/2019	1	\$0.00
Direct Deposits	8/25/2019	165	\$538,130.31
Payroll Checks	8/25/2019	1	\$117.88
TOTAL PAYROLL		335	\$1,071,619.67
TOTAL CLAIMS			\$2,380,571.05

Renton Regional Fire Authority Finance Committee:

Kerry Abercrombie, Board Member

Ed Prince, Board Member

Myron Meikle, Board Member

Marcus Morrell, Board Member

Don Persson, Board Member

Armondo Pavone, Chairperson



RENTON REGIONAL FIRE AUTHORITY

M E M O R A N D U M

DATE: September 9, 2019

TO: Armondo Pavone, Chairperson (City of Renton)
Myron Meikle (Fire District 25)
Kerry Abercrombie (Fire District 25)
Marcus Morrell (Fire District 25)
Ed Prince (City of Renton)
Don Persson (City of Renton)
Linda Sartnurak (Non-voting Advisory Position, Fire District 40)

FROM: Rick Marshall, Fire Chief

SUBJECT: **Renton Regional Fire Authority Chief's Report**

1. 2020 Budget Workshop

Budget season is in full swing again for all of the Budget Line Item Account Managers. On August 29, approximately twenty-five (25) members attended our annual budget workshop, and RRFA is one step closer to having the final 2020 budget in place. We were pleased to have GB member Kerry Abercrombie in attendance as well as two members from our Citizen Advisory Panel.

2. Fleet Shop Retrofit

Deputy Chief DeSmith will have an agenda item today for generator replacement and Fleet shop tenant improvement in the amount of \$205,000. This cost is currently in the budget.

3. Salvation Army Advisory Board Meeting

I was asked to attend the Salvation Army Advisory Board meeting on August 26th to discuss a variety of issues related to their involvement in our community. They continue to provide amazing service to those in need and like most non-profits, struggle to make ends meet. I have committed to having RRFA staff and Union support this year for their traditional holiday Kettle Drive. Board members will be given the opportunity to participate!

4. FD40

It has been three months since we had our workshop with FD40. As you recall during the workshop, FD40 counsel stated after the executive session that they held there that were only a couple minor issues that he felt the attorneys could resolve. I reached out to one of their Board members a little over a week ago and met to discuss what I believed was remaining. I learned that there are issues that continue to go far deeper. Brian Snure has reached out to FD40 counsel to see where they stand. I have also learned that FD40 has reached out to PSRFA for assistance with FBC management—something that is welcomed news. We are hopeful that FD40 will now join Puget Sound and Renton in our collaborative FBC process.

5. Engineer Testing

We have completed the written testing and are now moving into the practical testing for Engineer. This is a new piece of our contract with L864 and I am immensely proud of the effort that candidates are putting into the process. I am also proud of the work that Jennifer Zinck, DC Gunsolus, and BC Homan have put into this tireless process. I am sure there are others as well, and each deserve recognition.

6. Dispatch Services

As mentioned in the past, there has been considerable discussion and concern over a Valley Comm rate change for the RFA. This led Zone 3 Chiefs and myself to pursue other options for service. I have meetings scheduled in the coming weeks with both NORCOM and Seattle Fire to explore service and costs. In the meantime, there has been significant progress with Valley Comm on a number of fronts. I am currently working with the Director on getting a service level agreement developed for all their agencies that will better define levels of service and expectations.

7. Accreditation

Virtually every agency around Renton either already has worked or is working towards accreditation. In the past couple years, I have grown to appreciate that accreditation is far more than a sticker on the side of a fire truck—it is an ongoing evaluation that ensures to our citizens that we are doing what we say and spending their money how we are telling them we are. Our first step is to build a strategic plan. That said, I would like to inform the Board that I will likely be coming to you mid-year with a request to pursue accreditation.

8. Chamber of Commerce Board Position

I have accepted the opportunity to take a position on the Chamber of Commerce Board. This position provides yet another touch-point in our community that is vital to the RFA delivering relevant and effective service to our community.

9. New Teacher Breakfast

I was able to attend the Renton School District New Teacher Breakfast held at Renton Technical College. It was exciting to represent the RFA and participate in welcoming all the new teachers to the school district.

10. LNI Meeting

I was asked to attend a panel comprised of Washington Fire Chiefs, Washington Council of Fire Fighters, and LNI representatives on September 4th to discuss risk management, injury reduction best practices, and how to incentivize organizations to adopt them. This is a complicated topic that has much work left to do, but the end result will mean lower costs for workplace injury and a safer workplace for our employees.



Governing Board Agenda Item

SUBJECT/TITLE: Public Hearing Dates

STAFF CONTACT: S. Babich

SUMMARY STATEMENT:

In order to meet the required deadlines for filing property tax levy and FBC information with the County we are proposing two special meetings in order to hold a public hear and to adopt a final levy amount.

FISCAL IMPACT:

Expenditure _____ Revenue _____

Currently in the Budget Yes ☐ No ☐

SUMMARY OF ACTION:

Here are the proposed actions to be taken:

10/01/2019 - Publish special meetings as required on

10/14/2019 - Regular Governance Board Meeting

10/23/2019 - Special Meeting - Public Hearing on A/V Levy (RCW 84.55.120) and Public Hearing on FBC (RCW 52.26.230)

11/12/2019 - Special Meeting - Adopt Levy (RCW 84.52.070), Adopt FBC (RCW 52.260.230), and Adopt Preliminary Budget

11/13/2019 - Certify Levy to Assessor

Reviewed by Legal Yes ☐ No ☐

EXHIBITS:

RFA GOVERNANCE BOARD RECOMMENDED ACTION:

I move to hold a Special Meeting on 10/23/2019 at 10:00 am at Renton RFA ST 13 for the purpose of holding public hearings regarding the Levy and the Fire Benefit Charge and a second Special Meeting on 11/12/2019 for the purpose of adopting the preliminary 2020 budget and setting both the levy and FBC.



Governing Board Agenda Item

SUBJECT/TITLE: FS11 Generator Replacement & Fleet Shop TI

STAFF CONTACT: D/C DeSmith

SUMMARY STATEMENT:

Contract with Broderick Architects and Alegis Construction Inc. to replace the emergency generator at FS11 and build-out the RRFA Fleet Shop. The City of Renton will contribute \$87,000.00 towards the emergency generator from past capital replacement, the RRFA Fleet Shop build-out will ready the shop to work by January, 2020. By combining the two projects, we were able to save \$100,000.00 in engineering and construction fees.

FISCAL IMPACT:

Expenditure \$205,000.00

Revenue \$0

Currently in the Budget

Yes



No



SUMMARY OF ACTION:

Both projects will begin in late October, and be completed by the end of the year. The CoR funds were from combined capital projects in 2015, and fits within the McKinstry Facility Assessment for FS11. The RRFA Fleet Shop build-out meets/exceeds the standards for shop credit in the Fleet Consortium ILA, and provides regional assistance to Zone 3 fire departments.

Reviewed by Legal

Yes



No



EXHIBITS:

Alegis Inc. contract proposal

RFA GOVERNANCE BOARD RECOMMENDED ACTION:

I move that the Board approve the Alegis Inc. contract proposal, and authorize the fire chief to sign.

EXHIBIT B - STATEMENT OF CONTRACTOR'S QUALIFICATIONS

Each Contractor submitting a Bid for this Project shall submit, as part of its Bid, the following information:


1. Project Name: Station 11 Generator Replacement and
Station 13 Maintenance Building TI Project Number: _____
2. Contractor's Business Name: ALEGIS CONSTRUCTION INC.
3. Business address: 3701 S. NORFOLK ST. #300 SEATTLE, WA 98118
4. Business phone: 206-334-5820 Fax: 206-725-0296
5. Contractor Registration-
 - Washington State License Number ALEGIC1894CN Status: Active Yes: XX No: _____
6. How many years have you been engaged in the contracting business under the present firm name? 10
7. Describe the general character of work performed by your company: A general contractor specializing in
tenant improvement and industrial projects.
8. List major contracts completed by your company, including contracting agency, type of work and approximate costs: (Provide at least three contract references with phone numbers- Provide additional pages if needed)
 - a) UPS - New distribution facility 11 Million 2018- 2019
 - b) LA Fitness - New Fitness facility 6 million 2018
 - c) AMC Theaters - Renovation of a 14 unit theater complex 6.5 Million 2018 -2019
9. Bank references: _____
10. State of Washington Excise Tax Registration No.: 20701801
11. Industrial Insurance Account No.: 20701801 Account Current: Yes xx No _____
12. Current UBI Number: 603-073-077 Account: Open xx Closed _____
13. Employment Security Department (ESD)
 - Number: 20701801
 - Documentation available from ESD: Yes xx No _____
14. Is your company or any company with which the bidder is affiliated, listed on the "Contractors Not Allowed to Bid" list of the Department of Labor and Industries? Yes _____ No xx
15. I certify that other contracts now in progress or hereafter obtained will not interfere with timely performance of this project should I be awarded the contract
Company: Alegis Construction Inc.
Authorized Signature: 
Print Name and Title: Patrick Alejandro, General Manager

EXHIBIT C - BID PROPOSAL FORM

NOTE TO BIDDER: Use preferably **BLACK** ink for completing this Proposal form.

PROPOSAL:

To: Renton Regional Fire Authority

Address: 18002 108th Avenue SE
Renton, Washington 98055

Project Title: Station 11 Generator Replacement & Station 13 Maintenance Building TI

Station 11
211 Mill Avenue S
Renton, Washington 98057

Station 13
18002 108th Avenue SE
Renton, Washington 98055

Bidder's person to contact for additional information on this Proposal:

Company: Alegis Construction Inc.

Contact Person: Daniel Miller, Senior Estimator

Telephone: 206-334-5820 Fax: 206-725-0296

BIDDER'S DECLARATION AND UNDERSTANDING:

The undersigned, hereinafter called the Bidder, declares that the only persons or parties interested in this Proposal are those named herein, that this Proposal is, in all respects, fair and without fraud, that it is made without collusion with any official or representative of the OWNER, and that the Proposal is made without any connection or collusion with any person submitting another Proposal on this Contract.

The Bidder further agrees that it has exercised its own judgment regarding the interpretation of subsurface information and has utilized all data which it believes pertinent from the CONSULTANT, OWNER, and other sources in arriving at its conclusion.

The Bidder further declares that it has carefully examined Contract Documents for construction of the project, that it has inspected the site, that it has satisfied itself as to quantities involved, including materials and equipment, and conditions of work involved, including the fact that the description of quantities of work and materials as included in this Form of Proposal is brief and is intended only to indicate the general nature of the work and to correlate said quantities with detailed requirements in the Contract Documents, and that this Proposal is made according to provisions and under terms of the Contract Documents, which Documents are hereby made a part of this Proposal.

CONTRACT EXECUTION, BONDS & INSURANCE:

The Bidder agrees that its Proposal shall not be withdrawn for a period of 90 days after bid opening. The Bidder further agrees that if this Proposal is accepted, it will, within 10 calendar days after receipt of Notice of Award, sign the Contract and deliver to the OWNER the required Performance and Payment Bonds and Certificates of Insurance, and will, to the extent of its Proposal, furnish all machinery, tools, apparatus, and other means of construction and do the work and furnish all the materials necessary to complete all Work as specified or indicated in the Contract Documents.

CONTRACT TIME:

The Bidder agrees to **Substantially Complete the Work within 90 calendar days after the Date of Notice to Proceed, and to Finally Complete the work within 7 calendar days after Substantial Completion.**

SALES AND USE TAXES:

Prices quoted in the Proposal shall **NOT** include local and state sales taxes applied to the Owner's payments. The OWNER will pay the local and state sales taxes directly to the CONTRACTOR based on the monthly progress pay estimate. All other taxes as required by the laws and statutes of the State and its political subdivision shall be paid by the CONTRACTOR.

ADDENDA:

The Bidder hereby acknowledges that Bidder has received Addenda No's. One (1), _____, _____, _____, _____, (Bidder shall insert No. of each Addendum received) and agrees that all addenda issued are hereby made part of the Contract Documents, and further agrees that Bidder's Proposal(s) includes all impacts resulting from said Addenda.

TOTAL LUMP SUM BASE BID:

Base bid includes but is not limited to (refer to the Drawings and Specifications for the complete Scope of Work).

The bidder agrees to accept as full payment for the Work, as specified in the Contract Documents and shown on the Drawings, and based upon the undersigned's own estimate of quantities and costs, the following lump sum:

DOLLARS (\$ 205,000.00), Two hundred and five thousand dollars and zero cents.

PROJECT MANAGEMENT AND SUPERVISION:

The Bidder proposes the following designated Project Manager and Superintendent, whose experience and qualifications shall be as described in Instructions to Bidders, and whose resumes indicating relevant experience are enclosed with this Proposal.

Rocky Gerber
Project Manager

Mike Welch
Superintendent

BIDDER:

The name of the BIDDER submitting this Proposal is Alegis Construction Inc.

doing business at 3701 S. Norfolk St., Seattle, WA, 98118
(Street) (City) (State) (Zip)

which is the address to which all communications concerned with this Proposal and with the Contract shall be sent.

The names of the principal officers of the corporation submitting this Proposal, or of the partners comprising the partnership, or of all persons interested in this Proposal as principals are as follows:

Mike Price, Daniel Finnegan, Jason Wynecoop

Federal Tax Identification No: 27-2274841

Contractor's Washington Registration No: ALEGIC894CN

Dept. of Labor and Industries Reg. No: 20701801

Washington State Department of Revenue No: 603-073-077

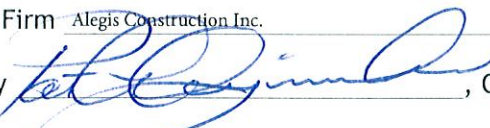
Bid Signature. The Bid shall be signed by the Bidder, as follows:

Sole Proprietorship: Signature of sole proprietor in the presence of a witness who will also sign. Insert the words "Sole Proprietor" in the Official Capacity line.

Partnership: Signature of all partners in the presence of a witness who will also sign. Insert the word "Partner" in the Official Capacity line.

Corporation: Signature of a duly authorized signing officer(s) in their normal signatures. Insert the officer's capacity in which the signing officer acts, under each signature. If the Bid is signed by officials other than the president and secretary of the company, or the president / secretary / treasurer of the company, a copy of the by-law resolution of their board of directors authorizing them to do so, must also be submitted with the Bid.

Joint Venture: Each party of the joint venture shall sign in a manner appropriate to such party as described above, similar to the requirements of a Partnership.

Name of Firm	<u>Alegis Construction Inc.</u>		
Signed by		Official Capacity	<u>General Manager</u>
Print Name	<u>Patrick Alejandro</u>		
Signed by	_____		
Print Name	_____		
Signed by	_____		
Print Name	_____		
Address	_____		
City	_____	State	_____ Zip Code _____
Date	_____	Telephone	_____ FAX _____
State of Washington Contractor's License No.	<u>ALEGICI894CN</u>		UBI No. _____
<u>603-073-077</u>		DAN.MILLER@ALEGISCONSTRUCTION.COM	
Federal Tax ID #	<u>27-2274841</u>	e-mail address:	_____

END OF SECTION

EXHIBIT D

COMBINED AFFIDAVIT & CERTIFICATION FORM:
NON-COLLUSION, MINIMUM WAGE (NON-FEDERAL AID)

NON-COLLUSION AFFIDAVIT

Being first duly sworn, deposes and says, that he/she is the identical person who submitted the foregoing Bid, and that such Bid is genuine and not sham or collusive or made in the interest or on behalf of any person not therein named, and further, that the deponent has not directly induced or solicited any other individual or entity to put in a sham bid, or to refrain from submitting a bid, and that deponent has not in any manner sought by collusion to secure to himself/herself or to any other person any advantage over other bidder or bidders.

AND

MINIMUM WAGE AFFIDAVIT FORM

I, the undersigned, having duly sworn, deposed, say and certify that in connection with the performance of the work of this project, I will pay each classification of laborer, workman, or mechanic employed in the performance of such work not less than the prevailing rate of wage or not less than the minimum rate of wage as specified in the principal contract; that I have read the above and foregoing statement and certificate, know the contents thereof and the substance as set forth therein is true to my knowledge and belief.

ALEGIS CONSTRUCTION INC.

NAME OF BIDDER'S FIRM



SIGNATURE OF AUTHORIZED REPRESENTATIVE OF BIDDER

Subscribed and sworn to before me this _____ day of _____,
2019

Notary Public in and for the State of
Washington, residing at _____.

EXHIBIT E

Certification of Compliance with Wage Payment Statutes

The contractor hereby certifies that, within the three-year period immediately preceding the date of this contract, the contractor is not a "willful" violator, as defined in RCW 49.48.082, of any provision of chapters 49.46, 49.48, or 49.52 RCW, as determined by a final and binding citation and notice of assessment issued by the Department of Labor and Industries or through a civil judgment entered by a court of limited or general jurisdiction.

I certify under penalty of perjury under the laws of the State of Washington that the foregoing is true and correct.

ALEGIS CONSTRUCTION INC

Contractor's Business Name

Signature of Authorized Official*

PAT ALEJANDRO

Printed Name

GENERAL MANAGER

Title

21AUGUST2019

Date

SEATTLE

City

WA

State

Check One:

Sole Proprietorship ☐ Partnership ☐ Joint Venture ☐ Corporation ☒

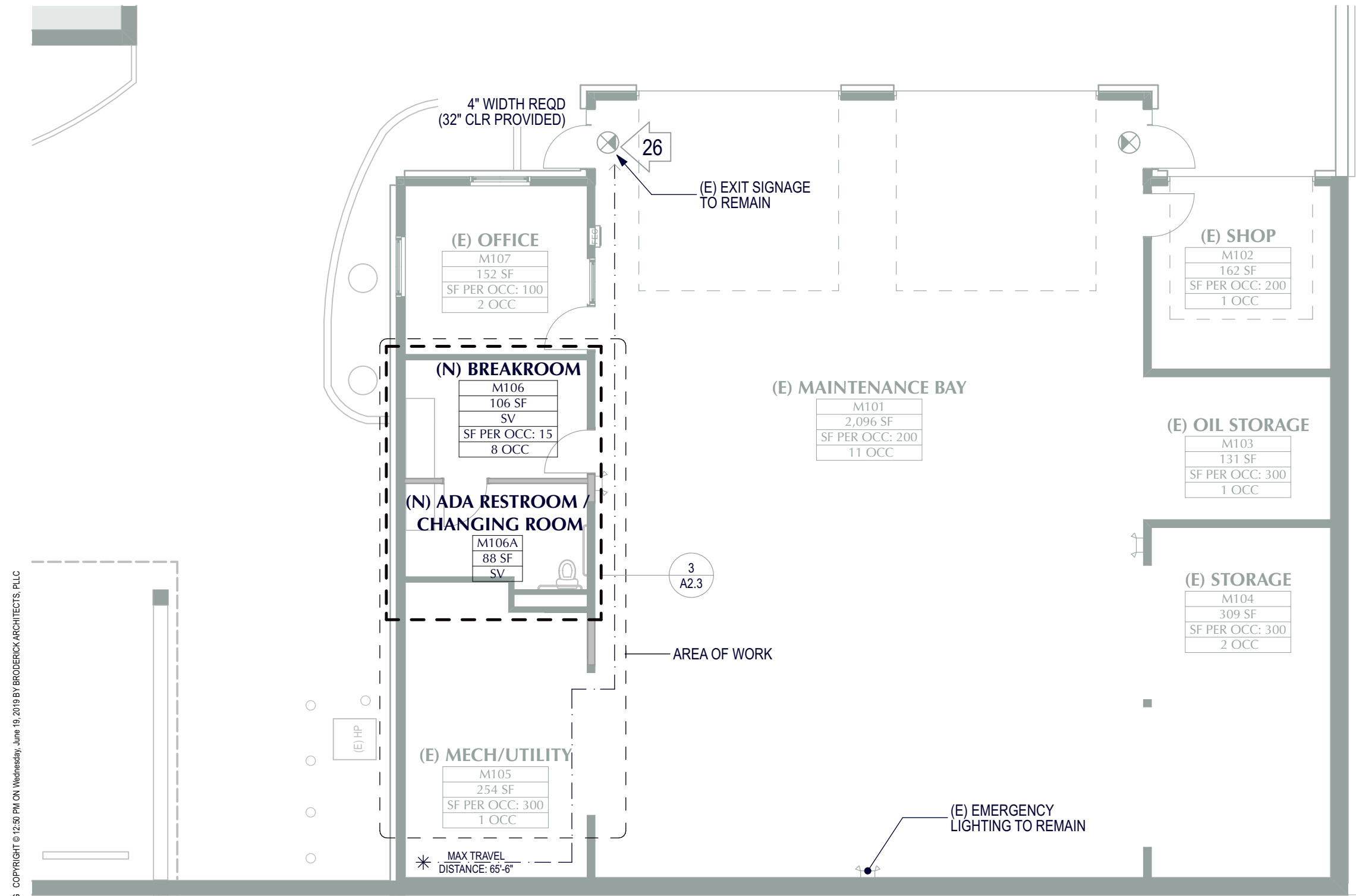
State of Incorporation, or if not a corporation, State where business entity was formed:

WA

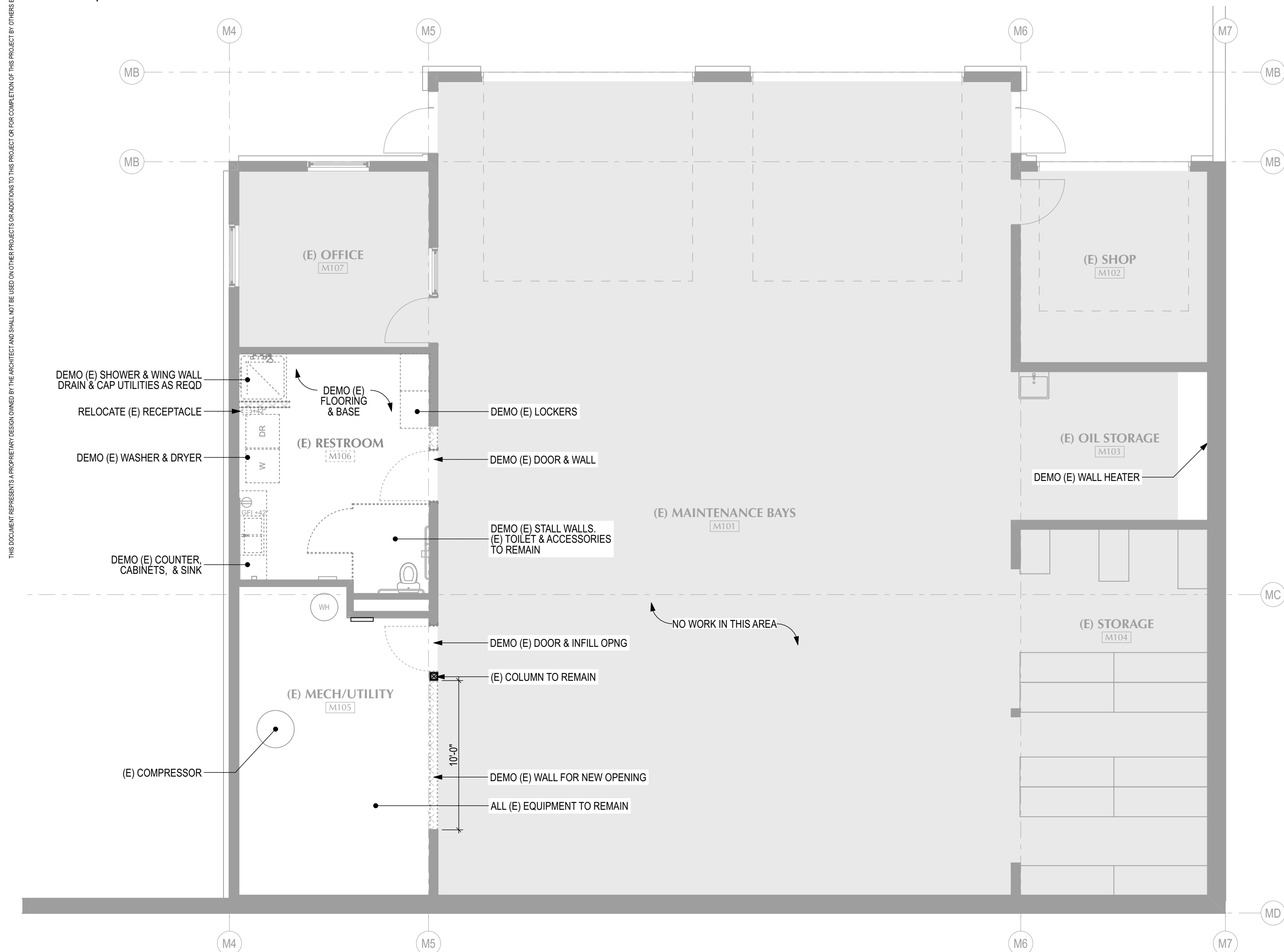
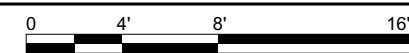
If a co-partnership, give firm name under which business is transacted:

** If a corporation, proposal must be executed in the corporate name by the president or vice-president (or any other corporate officer accompanied by evidence of authority to sign). If a co-partnership, proposal must be executed by a partner.*

THIS DOCUMENT REPRESENTS A PROPOSED DESIGN OWNED BY THE ARCHITECT AND SHALL NOT BE USED ON OTHER PROJECTS OR ADDITIONS TO THE PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY PRIOR AGREEMENT IN WRITING. COPYRIGHT © 2019 BY BRODERICK ARCHITECTS, PLLC.



1
A2.1
EXITTING PLAN
1/8" = 1'-0"



2
A2.1
DEMOLITION PLAN
3/16" = 1'-0"



DOOR SCHEDULE

MARK	NOMINAL OPENING		THICKNESS	PANEL TYPE	MATERIAL		GLAZING	S.G.	THERMAL ENVELOPE	U-VALUE	FIRE RATING	NEW HARDWARE	NOTE
	W	HT			PANEL	FRAME							
106A	3'-0"	7'-0"	1 3/4"	A	HM	HM	N/A	-	☐	-	-	PRIVACY	PTD TO MATCH (E) DOORS
106B	3'-0"	7'-0"	1 3/4"	B	HM	HM	CLEAR	YES	☐	-	-	PASSAGE w/ CLOSER	PTD TO MATCH (E) DOORS

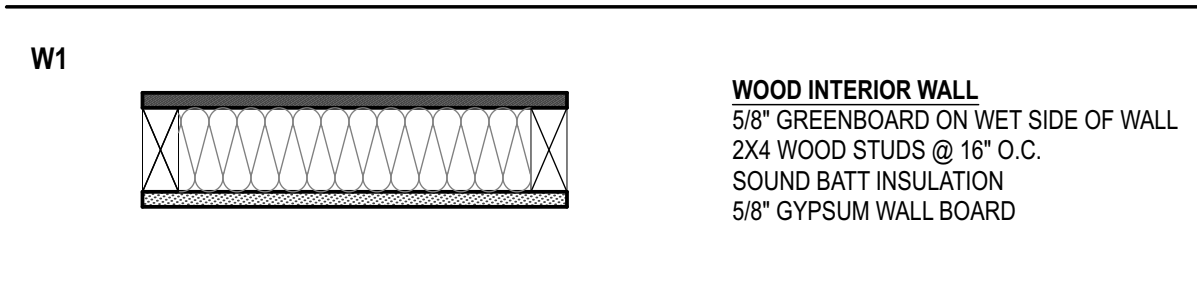
NOTES:

- PER ANSI A117.1-2009, ALL DOOR HARDWARE SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34 INCHES MIN AND 48 INCHES MAX ABOVE THE FLOOR.
- EGRESS DOORS SHALL BE OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- ALL NEW DOORS SHALL MATCH MATERIAL & FINISH OF EXISTING DOORS IN BUILDING.
- ALL NEW DOOR HARDWARE SHALL MATCH EXISTING HARDWARE (INCLUDING LATCHSET / LOCKSET, KICKPLATE, CLOSERS, RELITES, AND DOOR STOPS).
- ALL GLAZING WITHIN DOORS SHALL BE TEMPERED.
- HARDWARE FUNCTIONS:
PASSAGE LATCH: BOTH LEVERS ALWAYS UNLOCKED
PRIVACY LOCK: PUSH-BUTTON LOCKING, UNLOCK BY TURNING INSIDE LEVER OR USING EMERGENCY TOOL
- CONTRACTOR TO VERIFY ROUGH OPENING DIMENSIONS IN FIELD PRIOR TO ORDERING DOORS.

DOOR TYPES

TYPE	A	B
TYPE/FUNCTION	SWINGING w/ FLUSH PANEL	SWINGING w/ HALF LITE
QUANTITY	1	1

WALL ASSEMBLY



W1

WOOD INTERIOR WALL
5/8" GREENBOARD ON WET SIDE OF WALL
2X4 WOOD STUDS @ 16" O.C.
SOUND BATT INSULATION
5/8" GYPSUM WALL BOARD

LEGEND

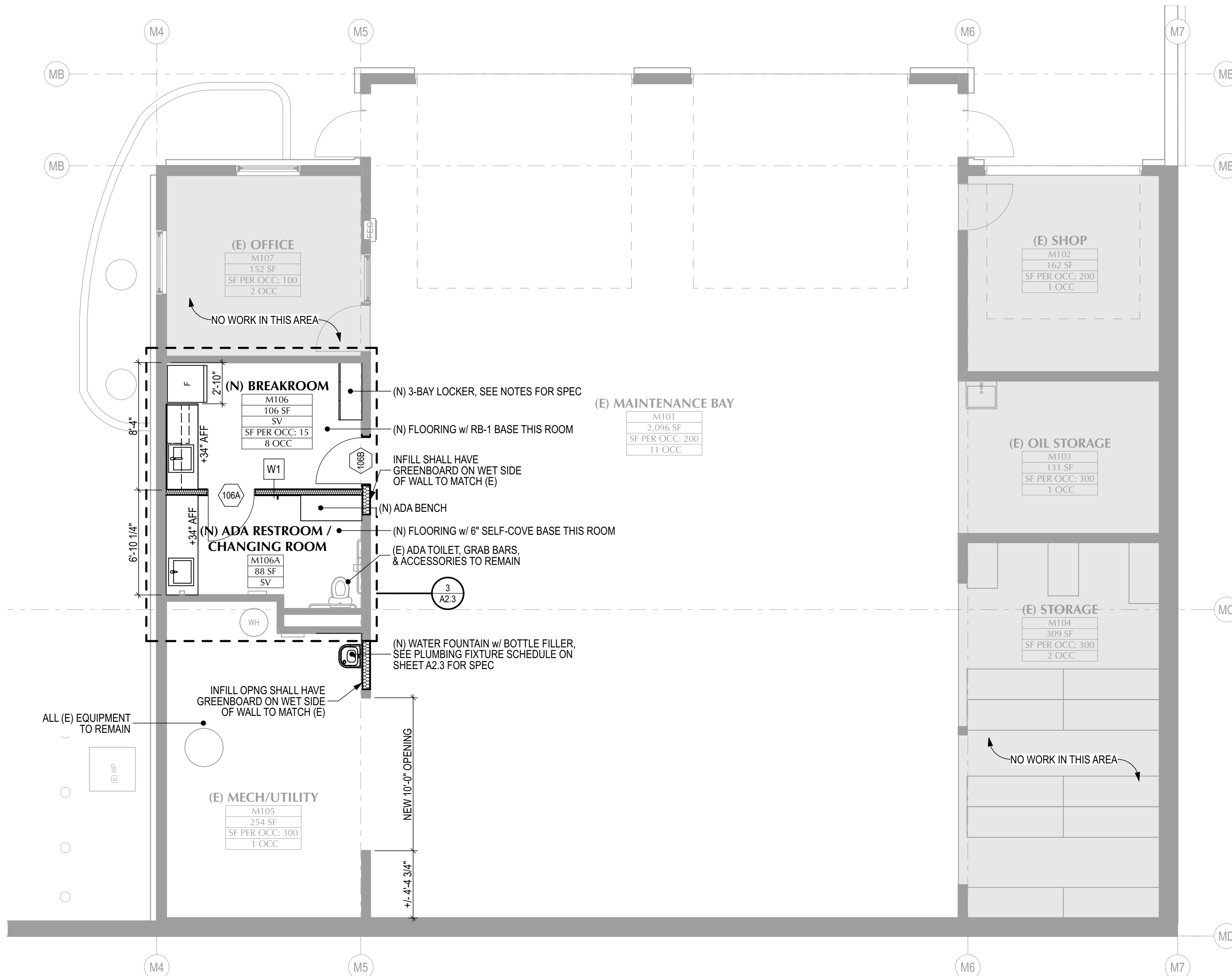
	EXISTING WALL TO BE DEMOLISHED
	EXISTING WALL TO REMAIN
	EXISTING ITEM TO BE DEMOLISHED (CASEWORK, EQUIPMENT, ETC)
	NO WORK IN SHADED AREA
	NEW DOOR TAG
	EXISTING EXIT SIGNAGE
	EXISTING EMERGENCY LIGHTING
	INDICATES THE NUMBER OF OCCUPANTS AT EACH EXIT

EXITTING NOTES:

- CONSTRUCTION TYPE: V-B
- SPRINKLERS: YES
- REQUIRED EXIT DOOR WIDTH: 0.15 INCHES PER OCCUPANT (PER 2015 IBC SECTION 1005.3.2). MINIMUM DOOR WIDTH CALCULATIONS ARE SHOWN AT EXIT.
- MAXIMUM EXIT ACCESS TRAVEL DISTANCE (S-1 OCC: 250 FT ALLOWED PER 2015 IBC TABLE 1017.2):
RM M105: 65'-6" FROM FURTHEST CORNER OF RENOVATION
- TOTAL OCCUPANT LOAD:
OFFICES & STORAGE -
EXISTING - 20
NEW - 26
- FIELD VERIFY LOCATION OF EXIT SIGNS AND EMERGENCY LIGHTING. EXIT SIGNS SHOWN ON PLAN ARE ASSUMED LOCATIONS.
- ALL (E) EXIT SIGNS AND EMERGENCY LIGHTING TO REMAIN, SHALL BE MODIFIED AS NECESSARY.
- FIELD VERIFY FIRE EXTINGUISHER LOCATIONS, NOT TO EXCEED 150' APART.

FLOOR PLAN NOTES:

- CONTRACTOR SHALL DIVERT AS MUCH OF THE DEMOLISHED MATERIALS FROM THE LANDFILL AS POSSIBLE BY MEANS OF RECYCLING, DONATION, ETC.
- WALLS & FLOORS SHALL BE PATCHED/REPAIRED AS REQD. ALL NEW FINISHES TO MATCH EXISTING, U.N.O.
- ALL (E) DOORS & HARDWARE TO REMAIN, U.N.O.
- ALL (E) ELECTRICAL TO REMAIN, U.N.O.
- DIMENSIONS ARE TO FACE OF FINISH FOR (E) WALLS AND TO FACE OF FRAMING FOR (N) WALLS, U.N.O.
- LOCKER SPECIFICATION: ASI STORAGE SOLUTIONS HOPE LOCKERS, TRADITIONAL COLLECTION, SINGLE TIER w/ LEGS, 12x15x66, QTY 3, COLOR TBD.



3
A2.1
NEW FLOOR PLAN
3/16" = 1'-0"



BID SET 6/19/19

RENTON REGIONAL FIRE AUTHORITY:
STATION 13 - MAINTENANCE BUILDING TENANT
IMPROVEMENT
18002 108TH AVE SE • RENTON, WA 98055

BRODERICK ARCHITECTS
55 S. ATLANTIC STREET, SUITE #301
SEATTLE, WASHINGTON 98134
206.682.7525

11/01/21 PLOT DATE: 6/19/19, Model: H1 13.024.2 RFA, Station 13 Maintenance Building Bid Set, A222.dgn

DEDICATED APPROVAL STAMP SPACE



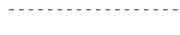



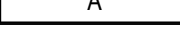

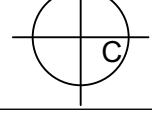

BID SET 6/19/19




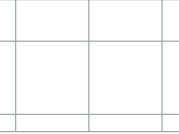




EXISTING, DEMO & NEW FLOOR
PLANS

A2.1

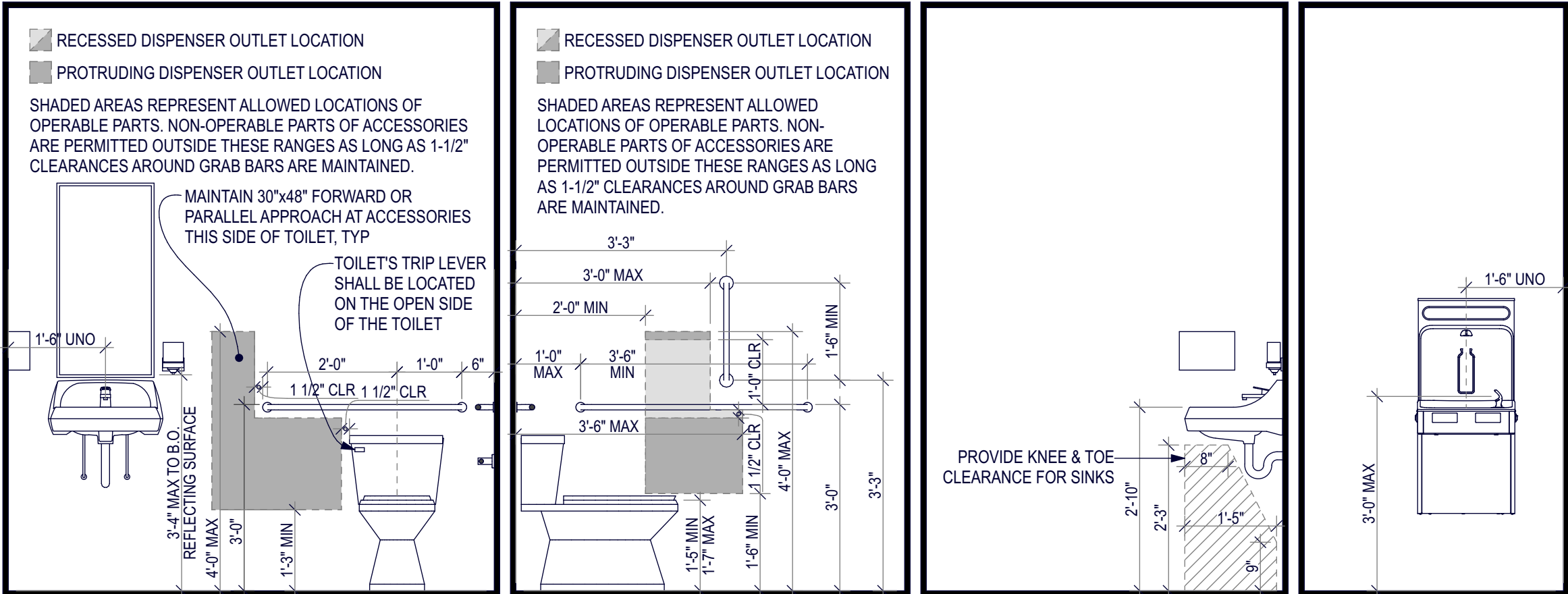
ID	QTY	MFR.	TYPE	SERIES	ITEM NO.	WATTS	FINISH	NOTE
A	13	LITHONIA	4' LED	STL4	STL4 40L E21 LP835	35	WHITE	CLG MOUNTED
B	1	EATON	2' VANITY	BCLED	2BCLED-14-16SL-F	19	WHITE	
C	8	LITHONIA	HIGH BAY	JHBL	JHBL 1200LM GL WVD MVOLT GZ10 50K 80CRI NSG DWXHD	83	WHITE	CLG MOUNTED
D	2	LITHONIA	2X4 LED	BLT	2BLT4 48L AOSM E21 P835	38	WHITE	

ID	TYPE	SIZE	MANUF.	MODEL/MODEL NO.	PROVIDED/ INSTALLED BY	QTY	NOTES
A	EXHAUST FAN & REEL w/ 41' HOSE	3 HP	PLYMOVENT	TEV-3110-60/SER-850/ET1200	AIR EXCHANGE	6	CONTRACTOR TO PROVIDE ELECTRICAL FOR EXHAUST FAN
B	AIR REEL w/ HOSE	3/8" X 75'		8078-F LP/HD	CAMCAL	5	
C	AIR REEL w/ HOSE	1/2" X 75'		8078-M LP/HD	CAMCAL	1	
D	COOLANT REEL w/ HOSE	3/4" X 75'		8078-F LP/HD	CAMCAL	1	
E	GREASE REEL w/ HOSE	1/4" X 75'		8078-B HP/HD	CAMCAL	1	
F	OIL REEL w/ HOSE	1/2" X 75'		8078-D MP/HD	CAMCAL	3	
G	WATER REEL w/ HOSE	3/8" X 75'		8078-F LP/HD	CAMCAL	1	
H	WASTE OIL STORAGE TANK	400 gal		ROT2335102642	CAMCAL	1	
J	GREASE STORAGE DRUM	55 gal		CAMPN-1970	CAMCAL	1	
K	OIL STORAGE DRUM	55 gal		CAMPN-1970	CAMCAL	2	
L	OIL STORAGE TANK	275 gal		ROT2335109003	CAMCAL	1	
M	COOLANT STORAGE TANK	275 gal		ROT2335109003	CAMCAL	1	

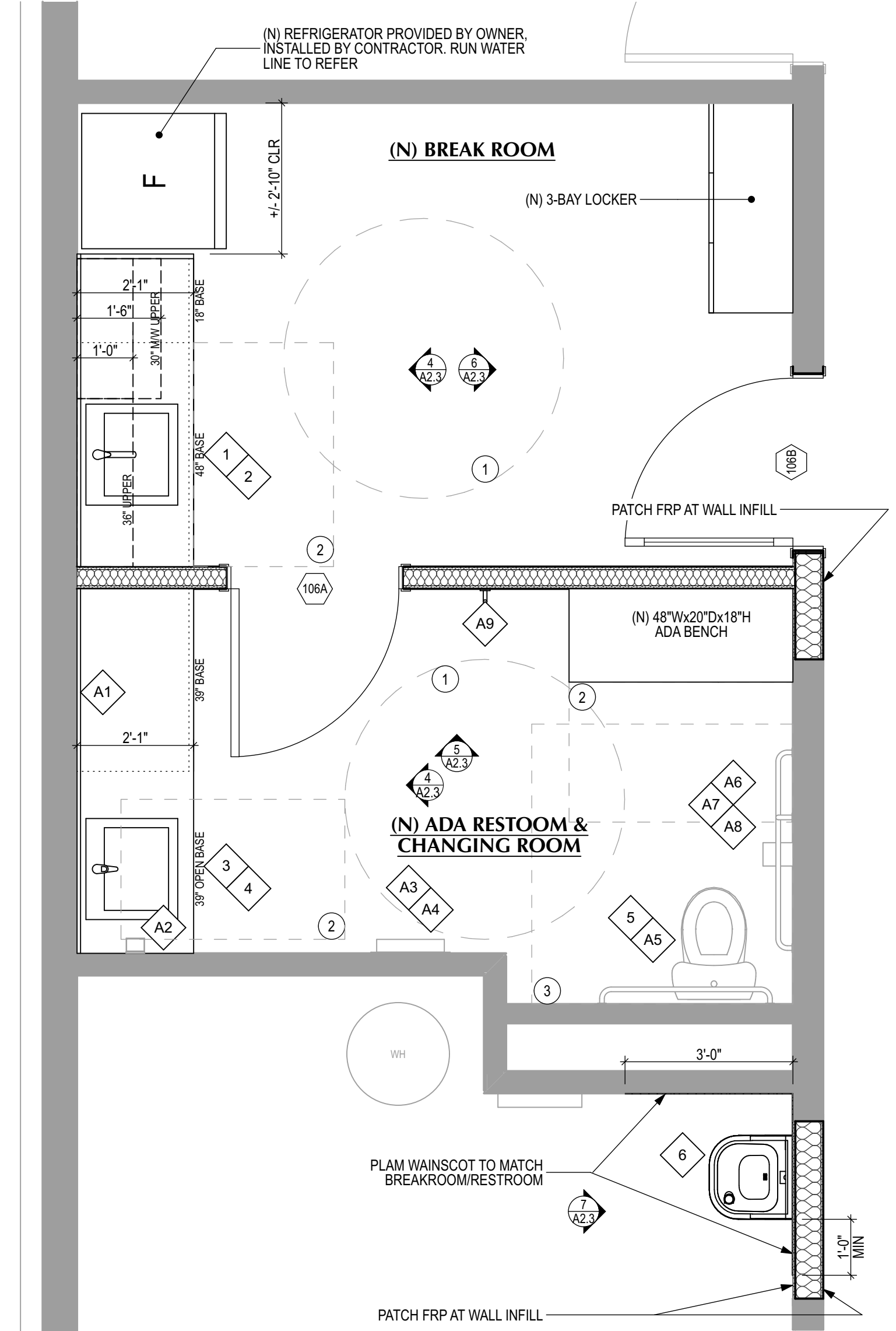
	EXISTING WALL TO BE DEMOLISHED
	EXISTING WALL TO REMAIN
	EXISTING ITEM TO BE DEMOLISHED (CASEWORK, EQUIPMENT, ETC)
	NO WORK IN SHADED AREA
	NEW DOOR TAG
	NEW EQUIPMENT TAG
	NEW 4' CEILING MOUNTED LED FIXTURE
	NEW RESTROOM VANITY FIXTURE
	NEW HIGH BAY CEILING MOUNTED LED FIXTURE
	NEW 2X4 RECESSED TROFFER

	EXISTING/NEW LIGHT SWITCH
	EXISTING SUPPLY AIR DIFFUSER
	EXISTING RETURN AIR DIFFUSER
	EXISTING 2' x 2' ACOUSTICAL TILE CEILING
	EXISTING GWB CEILING
	EQUIPMENT PROVIDED & INSTALLED BY AIR EXCHANGE
	EQUIPMENT PROVIDED & INSTALLED BY CAMCAL
	PRIMARY DAYLIGHT ZONE

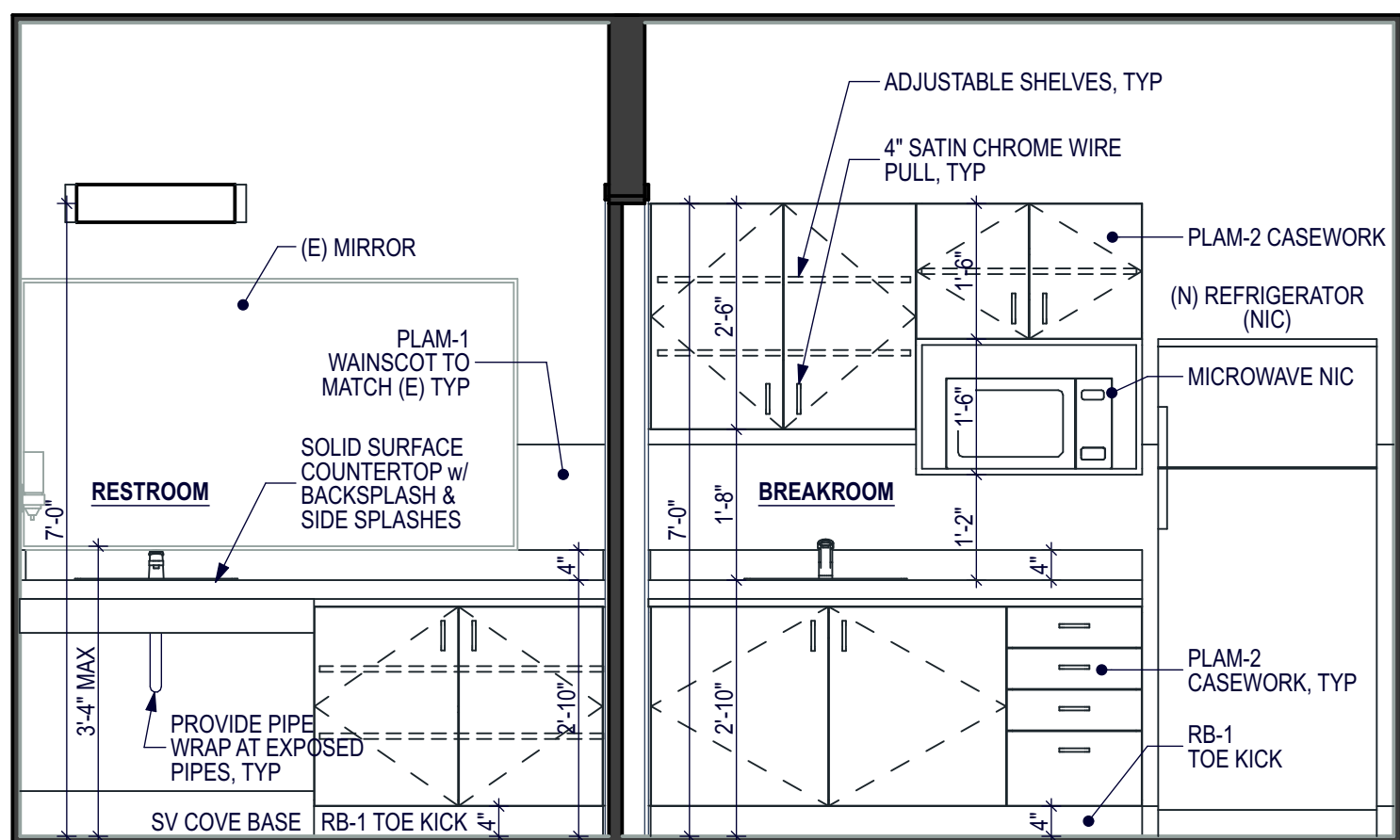
A2.2



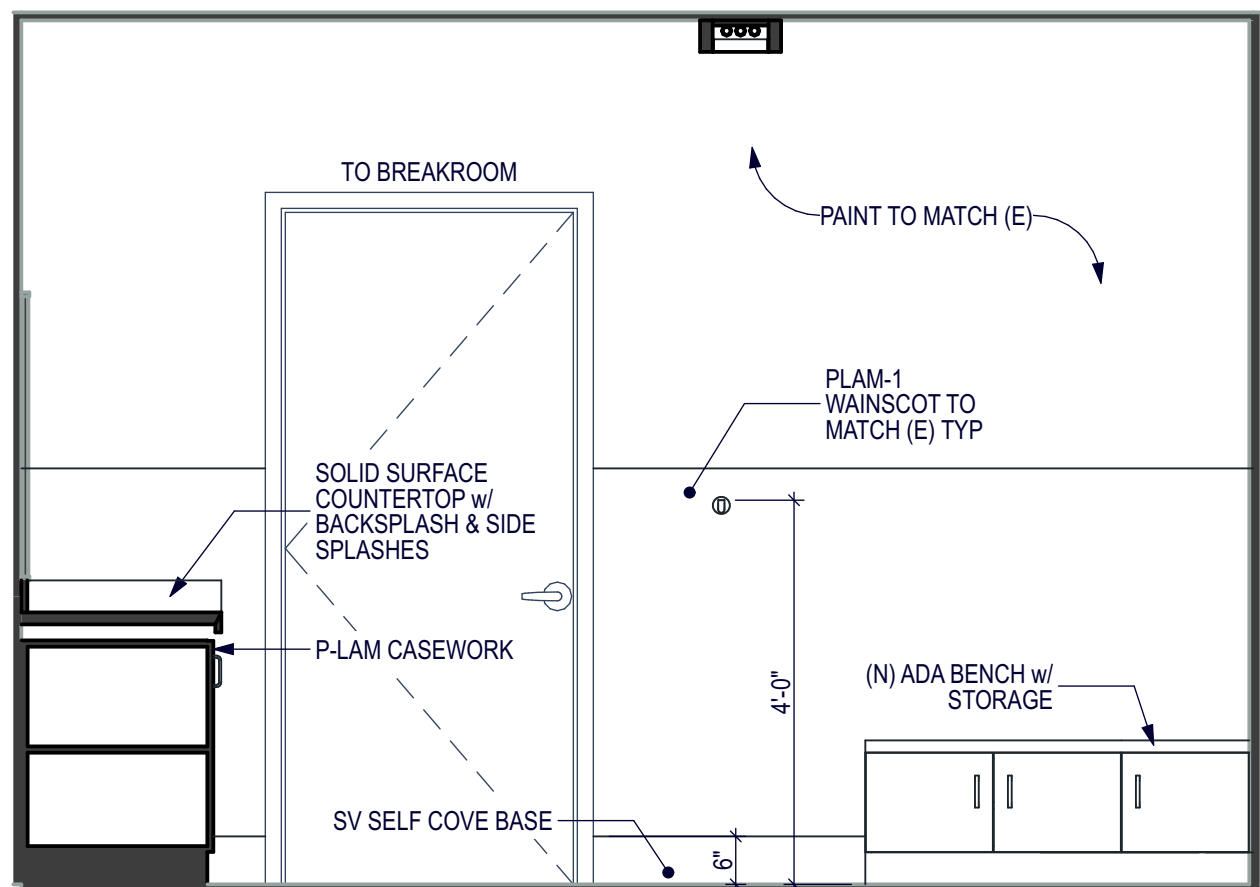
2 TYP. PLUMBING FIXTURE MOUNTING HEIGHTS
1/2" = 1'-0"



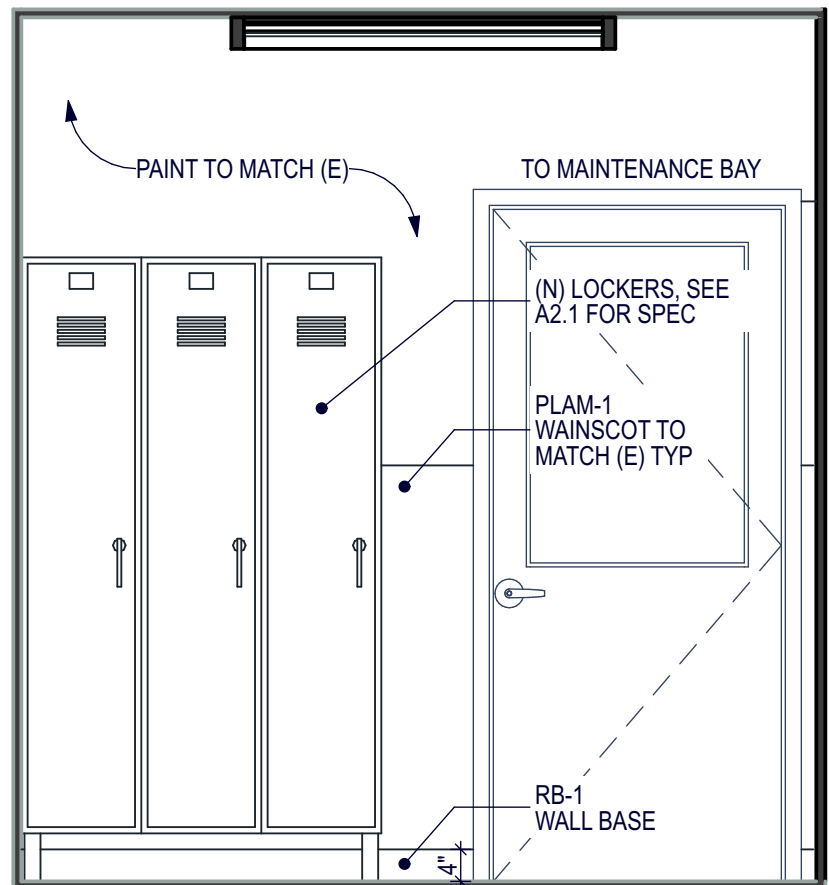
3 BREAKROOM & RR PLAN
1/2" = 1'-0"



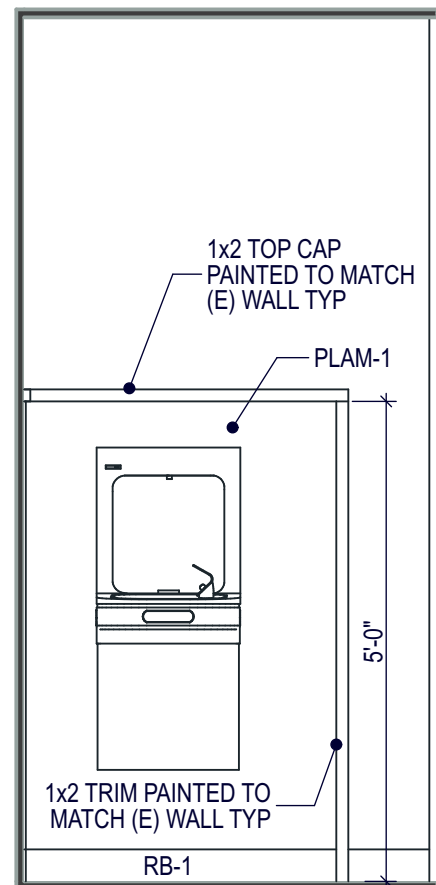
4 BREAKROOM & RESTROOM WEST WALL
1/2" = 1'-0"



5 RESTROOM NORTH WALL
1/2" = 1'-0"



6 BREAKROOM E WALL
1/2" = 1'-0"



7 DF ELEV
1/2" = 1'-0"

PLUMBING FIXTURES & ACCESSORIES

ID	TYPE	MANUF.	MODEL NO.	SIZE	FINISH	NOTES	QTY
1	SINGLE COMPARTMENT KITCHEN SINK	ELKAY	PSR2522	25" x 22" x 7 1/2"	SST	SINGLE-HOLE; DROP-IN MOUNTED	1
2	SINGLE-LEVER SINK FAUCET w/ 10" SPOUT	KOHLER	K-15175-PT	-	POLISHED CHROME	-	1
3	SINGLE-COMPARTMENT RESTROOM SINK	ELKAY	PSLR1917LO	19" x 17" x 6 1/8"	STAINLESS STEEL	SINGLE-HOLE; DROP-IN MOUNTED	1
4	CENTERSET BATHROOM SINK FAUCET	KOHLER	K-15182-4NDRA	-	POLISHED CHROME	-	1
5	ADA TOILET	-	-	-	-	EXISTING TO REMAIN	1
6	ADA WATER FOUNTAIN w/ BOTTLE FILLER	ELKAY	LZS8WSSP	-	SST	OR EQUIVALENT	1
A1	MIRROR	-	-	-	-	EXISTING TO REMAIN	1
A2	SOAP DISPENSER	-	-	-	-	EXISTING TO REMAIN	1
A3	PAPER TOWEL DISPENSER	-	-	-	-	EXISTING TO REMAIN	1
A4	RECESSED WASTE RECEPTACLE	-	-	-	-	EXISTING TO REMAIN	1
A5	36" HORIZONTAL GRAB BAR	-	-	36"	-	EXISTING TO REMAIN	1
A6	42" HORIZONTAL GRAB BAR	-	-	42"	-	EXISTING TO REMAIN	1
A7	18" VERTICAL GRAB BAR	-	-	18"	-	EXISTING TO REMAIN	1
A8	TOILET PAPER DISPENSER	-	-	-	-	EXISTING TO REMAIN	1
A9	COAT HOOK	BOBRICK	B-682	-	POLISHED SST	OR EQUIVALENT	1

FINISH SPECIFICATIONS:

WALLS

PLAM-1

MATERIAL: PLASTIC LAMINATE
PRODUCT: TO MATCH (E)
LOCATION: (N) RESTROOM, (N) BREAKROOM,
AND BOTTLE FILLER WAINSCOT

FLOORS

SV

MATERIAL: SHEET VINYL
MANUFACTURER: ARMSTRONG
COLLECTION: DECORART
SERIES: REJUVENATIONS STONERUN w/
DIAMOND 10 TECHNOLOGY COATING
COLOR: TBD
LOCATION: (N) RESTROOM & BREAKROOM
NOTE: SELF COVE BASE IN RESTROOM

COUNTERTOP

CTOP

MATERIAL: SOLID SURFACE
MANUFACTURER: FORMICA
COLOR: TBD
LOCATION: (N) RESTROOM & BREAKROOM

CASEWORK

PLAM-2

MATERIAL: PLASTIC LAMINATE
MANUFACTURER: FORMICA
COLLECTION: PATTERNS
COLOR: TBD

WALL BASE

RB-1

MATERIAL: 4" RUBBER BASE
MANUFACTURER: ROPPE
PRODUCT: PINNACLE 'STANDARD TOE'
COLOR: MATCH (E)
LOCATION: (N) BREAKROOM WALLS & CASEWORK;
(N) RESTROOM CASEWORK ONLY;
(N) INFILL WALL IN MECH/UTILITY

LEGEND

	EXISTING WALL TO REMAIN
	EXISTING ITEM TO BE DEMOLISHED (CASEWORK, EQUIPMENT, ETC)
	NO WORK IN SHADED AREA
	NEW DOOR TAG
	NEW EQUIPMENT TAG
	EXISTING DUPLEX / DATA & TELEPHONE OUTLETS
	NEW DUPLEX / QUADRAPLEX OUTLETS
	NEW DATA / DATA & TELEPHONE OUTLETS
	60" DIA CLR TURNING SPACE
	30" X 48" CLR FLOOR SPACE
	56" X 60" CLR SPACE FOR TOILET

ELECTRICAL NOTES:

- RECEPTACLES MOUNTED AT 18" AFF, U.N.O.
- INSTALL SST COVERPLATES TO MATCH (E) BLDG STANDARD.

FINISH NOTES:

- REPLACE (E) SHEET VINYL FLOORING IN (N) BREAKROOM & RESTROOM. INSTALL (N) RUBBER BASE IN BREAKROOM, INCLUDING IN CASEWORK TOEKICKS.
- 6" SELF COVE BASE IN (N) RESTROOM WITH RUBBER BASE AROUND CASEWORK ONLY.
- (E) WAINSCOT TO REMAIN. PATCH/REPAIR AS REQD AND ADD (N) WAINSCOT TO MATCH (E).



8 NEW POWER & DATA PLAN
3/16" = 1'-0"

BID SET 6/19/19

RENTON REGIONAL FIRE AUTHORITY:
STATION 13 - MAINTENANCE BUILDING TENANT
IMPROVEMENT

18002 108TH AVE SE • RENTON, WA 98055

BRODERICK ARCHITECTS
55 S. ATLANTIC STREET, SUITE #301
SEATTLE, WASHINGTON 98134

206.682.7525

DEDICATED APPROVAL STAMP SPACE

BID SET 6/19/19

ENLARGED PLANS, POWER &
DATA AND INTERIOR
ELEVATIONS

A2.3

RENTON REGIONAL FIRE AUTHORITY

STATION 11 - GENERATOR REPLACEMENT

211 MILL AVE S • RENTON, WA 98057

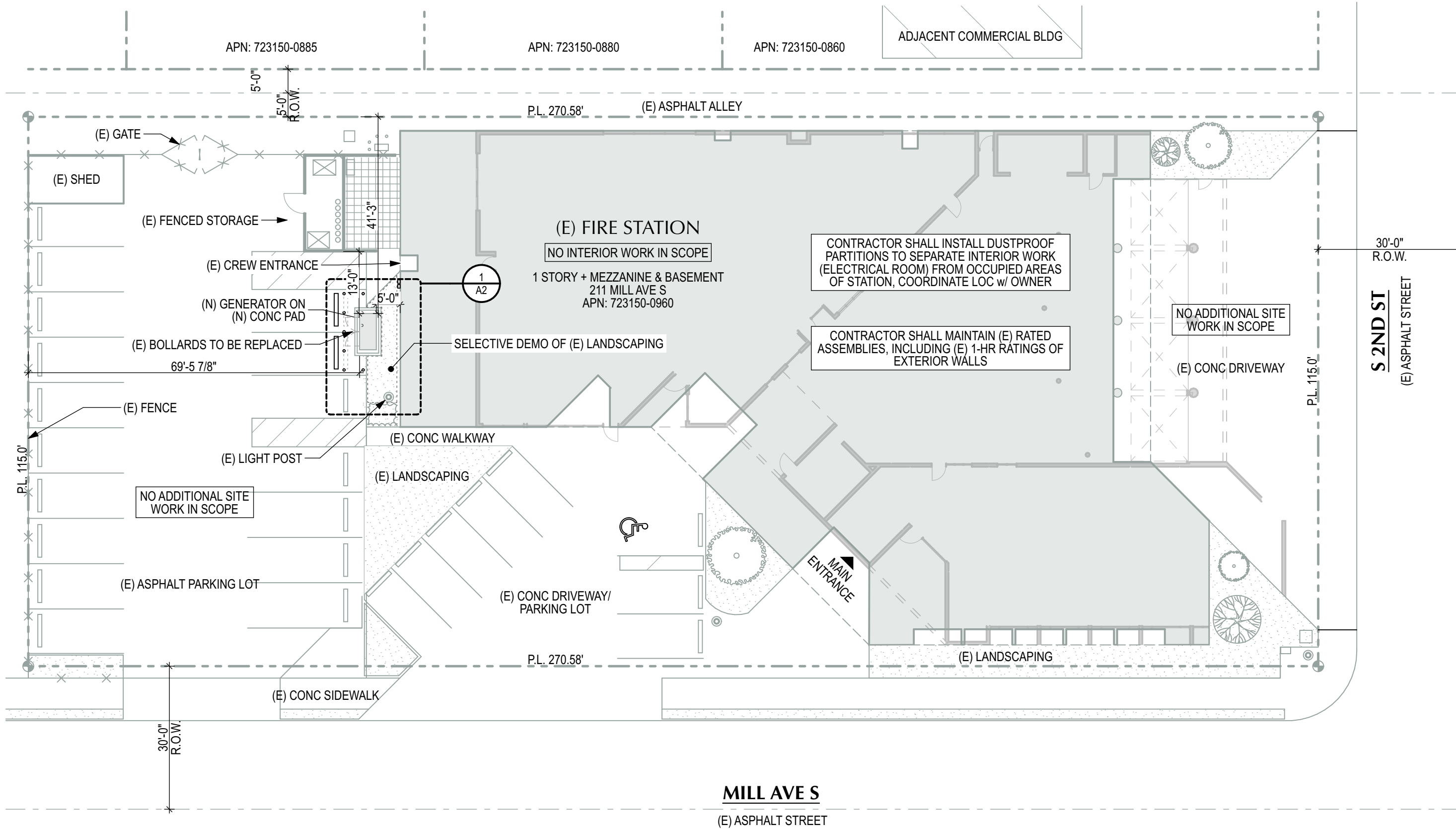
GENERAL NOTES

- ALL GENERAL NOTES GIVEN HEREIN APPLY TO ALL ALLIED TRADES FOR THE PROJECT AMENDED ELSEWHERE TO INCLUDE ISOLATED CONDITIONS
- THE DRAWINGS ARE INTENDED TO SHOW THE GENERAL ARRANGEMENT, DESIGN AND EXTENT OF THE WORK AND ARE PARTLY DIAGRAMMATIC. THEY ARE NOT INTENDED TO BE SCALED.
- ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE ON THE PROJECT, EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
- THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL GRADES, LINES, LEVELS, CONDITIONS, AND DIMENSIONS AT THE JOB SITE AND AS SHOWN ON THE DRAWINGS. THEY SHALL REPORT ANY ERRORS OR INCONSISTENCIES IN THE ABOVE TO THE ARCHITECT BEFORE COMMENCING WORK.
- CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN THEIR WORK FROM ESTABLISHED REFERENCE POINTS AND BE RESPONSIBLE FOR ALL LINES, ELEVATIONS AND MEASUREMENTS IN CONNECTION WITH THEIR OWN.
- PROTECTION:
 - THE CONTRACTOR IS RESPONSIBLE AND SHALL COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE HAVING JURISDICTION AND ALL LOCAL, STATE AND FEDERAL LAWS.
 - PROVIDE ALL SHORING AND BRACING AS REQUIRED FOR THE PROPER EXECUTION OF THE WORK. REMOVE WHEN WORK IS COMPLETED.
 - PROVIDE AND MAINTAIN GUARD LIGHTS AND BARRICADES AT ALL AREAS OF WORK ADJACENT TO PUBLIC WAYS OR PUBLIC SPACES.
 - AT ALL TIMES PROVIDE PROTECTION AGAINST WEATHER (RAIN, WIND, STORMS, OR HEAT) SO AS TO MAINTAIN ALL WORK, MATERIALS, APPARATUS AND FIXTURES FREE FROM DAMAGE.
 - THE CONTRACTOR SHALL PAY FOR ALL DAMAGES TO ADJACENT STRUCTURES, SIDEWALKS AND TO STREETS OR OTHER PUBLIC PROPERTY OR TO ANY PUBLIC UTILITIES.
- CONTRACTOR AGREES THAT HE WILL HOLD THE OWNER, ARCHITECT AND/OR ANY OF THEIR EMPLOYEES OR AGENTS HARMLESS FROM ANY AND ALL DAMAGE CLAIMS WHICH MAY ARISE BY REASON OF ANY NEGLIGENCE ON PART OF THE CONTRACTOR, ANY OF HIS SUBCONTRACTORS AND/OR SUBCONTRACTOR'S MATERIALS AND EQUIPMENT SUPPLIERS AND/OR ANY OF THEIR EMPLOYEES OR AGENTS, IN PERFORMANCE OF THIS CONTRACT, AND IN CASE ANY ACTION IS BROUGHT BEFORE THEREOF AGAINST THE OWNER, ARCHITECT AND/OR ANY OF THEIR EMPLOYEES OR AGENTS, CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DEFENSE THEREOF, AND UPON HIS FAILURE TO DO SO ON PROPER NOTICE, OWNER, ARCHITECT AND/OR ANY OF THEIR EMPLOYEES OR AGENTS RESERVE THE RIGHT TO DEFEND SUCH ACTION AND CHARGE ALL COSTS THEREOF TO CONTRACTOR.

ABBREVIATIONS

@	AT	FF	FINISH FLOOR	PNL	PANEL
°	AND	FOC	FACE OF CONCRETE	PROP	PROPERTY
°	DEGREE	FOF	FACE OF FINISH	PT	PRESSURE TREATED
Ø	DIAMETER	FOS	FACE OF STUD	PTD	PAINTED
#	POUNDS	FTG	FOOTING	R	RISER OR RADIUS
AB	ANCHOR BOLT	FURN	FURNITURE	RA	RETURN AIR
ABV	ABOVE	GA	GAUGE OR GAGE	RAD	RADIUS
ACT	ACOUSTICAL TILE	GALV	GALVANIZED	RCP	REFLECTED CEILING
A/E	ARCHITECT / ENGINEER	GL	GLASS	PLAN	PLAN
AFF	ABOVE FINISH FLOOR	GLB	GLUE LAMINATED BEAM	REINF	REINFORCING
ALUM	ALUMINUM	GLZ	GLAZING	REQD	REQUIRED
ALT	ALTERNATE	GYP	GYP SUM	RM	ROOM
ANSI	AMERICAN NATIONAL STANDARD INSTITUTE	GW	GYP SUM WALL BOARD	RO	ROUGH OPENING
ARCH	ARCHITECT OR ARCHITECTURAL	HB	HOSE BIB	S	SOUTH
BD	BOARD	HC	HOLLOW CORE	SA	SUPPLY AIR
BLK'G	BLOCKING	HDWD	HARDWOOD	SC	SOLID CORE
BLDG	BUILDING	HDR	HEADER	SCHED	SCHEDULE
BM	BEAM	HDW	HARDWARE	SD	STORM DRAIN
BTU	BRITISH THERMAL UNIT	HFM	HEM-FIR	SECT	SECTION
BUR	BUILT UP ROOF	HGT	HEIGHT	SF	SQUARE FEET
CB	CATCH BASIN	HM	HOLLOW METAL	SI	SIMILAR
CJ	CONSTRUCTION JOINT	HR	HOUR	SPEC	SPECIFIED OR SPECIFICATION
CL	CENTER LINE	HW	HOT WATER	SST	STAINLESS STEEL
CLG	CEILING	IBC	INTERNATIONAL BUILDING CODE	STC	SOUND TRANSMISSION COEFFICIENT
CLR	CLEAR	ID	INSIDE DIAMETER	STD	STANDARD
CMU	CONCRETE MASONRY UNIT	INTL	INTERNATIONAL FIRE CODE	STOR	STORAGE
CO	CLEAN OUT	IN	INCHES	STRUCT	STRUCTURAL
COL	COLUMN	INSUL	INSULATION	SUSP	SUSPENDED
CONF	CONFERENCE	INT	INTERIOR	SYS	SYSTEM
CONC	CONCRETE	IPC	INTERNATIONAL PLUMBING CODE	T	TREAD OR TEMPERED
CONT	CONTINUOUS	IRC	INTERNATIONAL RESIDENTIAL CODE	T&G	TONGUE AND GROOVE
COORD	COORDINATE	LAM	LAMINATE	TB	TOWEL BAR
CPT	CARPET	LAV	LAVATORY	TOW	TOP OF WALL
CT	CERAMIC TILE	LB	POUNDS	THK	THICK OR THICKNESS
CW	COLD WATER	LF	LINEAR FEET	THRU	THROUGH
d	PENNY	LT	LIGHT	TOPO	TOPOGRAPHIC MAP
DBL	DOUBLR	LWC	LIGHT WEIGHT CONCRETE	TPD	TOILET PAPER DISPENSER
DEG	DEGREE	MATL	MATERIAL	TYP	TYPICAL
DEMO	DEMOLISH OR DEMOLITION	MECH	MECHANICAL	UNO	UNLESS NOTED OTHERWISE
DF	DIAMETER	MFR	MANUFACTURER	UTIL	UTILITY
DIAG	DIAGONAL	MIN	MINIMUM	VCT	VINYL COMPOSITION TILE
DN	DOWN	MIR	MIRROR	VERT	VERTICLE
DG	DOUBLE GLAZING	MISC	MISCELLANEOUS	VEST	VESTIBULE
DTL	DETAIL	NEC	NATIONAL ELECTRICAL CODE	VTR	VENT THROUGH ROOF
DS	DOWNSPOUT	(N)	NEW	VTO	VENT TO OUTSIDE
DW	DISH WASHER	N	NORTH OR NEW	W	WEST
(E)	EXISTING	NIC	NOT IN CONTRACT	W/	WITH
EA	EAST OR EXISTING	NO	NUMBER	WC	WATER CLOSET
EIFS	EXTERIOR INSULATION FINISH SYSTEM	NOM	NOMINAL	WD	WOOD
ELECT	ELECTRICAL	NRC	NOISE REDUCTION COEFFICIENT	WIDW	WINDOW
EXT	EXTERIOR	NTS	NOT TO SCALE	WF	WIDE FLANGE
ELEV	ELEVATION	OC	ON CENTER OPENING	WG	WIRE GLASS
EQUIP	EQUIPMENT	OPNG	OPENING	WH	WATER HEATER
EQ	EQUAL	PL	PROPERTY LINE OR PLATE	W/O	WITHOUT
EW	EACH WAY	P LAM	PLASTIC LAMINATE	WP	WATERPROOF
EXIST	EXISTING	PLYWD	PLYWOOD	WSEC	WASHINGTON STATE ENERGY CODE
FD	FLOOR DRAIN	WD	WEIGHT	WT	WELDED WIRE FABRIC
FDN	FOUNDATION	WWM	WELDED WIRE MESH	YD	YARD
FEC	FIRE EXTINGUISHER CABINET				

- IF ANY ERRORS OR OMISSIONS APPEAR IN THE DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF SUCH OMISSIONS OR ERRORS PRIOR TO PROCEEDING WITH ANY WORK WHICH APPEARS IN QUESTION. IN THE EVENT OF THE CONTRACTOR'S FAILING TO GIVE SUCH NOTICE, HE SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY SUCH ERRORS OR OMISSIONS AND THE COST OF RECTIFYING THE SAME. THE CONTRACTOR SHALL HAVE ALL ITEMS OR DETAILS CLARIFIED WITH THE ARCHITECT PRIOR TO SUBMITTING A BID, OTHERWISE THE ARCHITECT'S INTERPRETATION SHALL BE FINAL.
- THE CONTRACTOR SHALL USE THE STRUCTURAL DRAWINGS TOGETHER WITH THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS TO LOCATE DEPRESSED SLABS, SLOPES, DRAINS, OUTLETS, RECESSES, OPENINGS, REGLETS, BOLT SETTING, SLEEVES, DIMENSIONS, ETC. POTENTIAL CONFLICTS SHALL BE TRANSMITTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ALL WOOD WALL DIMENSIONS GIVEN ARE TO EXTERIOR FACE OF FRAMING. LIGHT GA STEEL WALLS ARE DIMENSIONED TO CL OF FRAMING.
- SOME CONNECTIONS INDICATED ON THE DRAWINGS ARE SCHEMATIC. SECURE ALL COMPONENTS RIGIDLY TO STRUCTURE AND EACH OTHER. USE FASTENERS DESIGNED FOR EACH INSERVICE CONNECTION.
- OBTAIN CLARIFICATION AND INTERPRETATION OF DRAWINGS AND SPECIFICATIONS. INCLUDE ADDITIONAL DETAIL, DIRECTLY FROM ARCHITECT.
- WASTE MATERIAL AND RUBBISH FROM DEMOLITION AND ALTERATION OPERATIONS SHALL BE REMOVED FROM SITE AS RAPIDLY AS POSSIBLE AND SHALL NOT BE ALLOWED TO ACCUMULATE ON PREMISES. DISPOSAL OF MATERIALS WILL BE AT THE DISCRETION OF THE CONTRACTOR. OPEN FIRES WILL NOT BE PERMITTED FOR DISPOSAL OF WASTE. CONTRACTOR SHALL PROVIDE AN EXTERIOR AREA TO COLLECT ALL DEMOLISHED NOT TO BE REUSED. THIS AREA SHALL BE SAFE AND UN-OBSTRUCTING THE BUILDING FUNCTION AND THE OWNER'S DAILY BUSINESS OPERATIONS.
- EXISTING UTILITY LINES INDICATED OR NOTED ON THE DRAWINGS ARE SHOWN AS OBTAINED FROM EXISTING INFORMATION AND ARE PROBABLY INCOMPLETE AND ONLY APPROXIMATE IN LOCATION. THE CONTRACTOR SHALL TAKE EXTREME CAUTION TO AVOID DAMAGE TO EXISTING UTILITY LINES AND/OR HARM TO PERSONNEL ENGAGED IN WORKING IN THE AREA.
- GLAZING TO BE INSULATED GLASS LABELED WITH NFRC CERTIFIED U-VALUE, AND MEETING THE REQUIREMENTS OF THE ENERGY CODE.



PROJECT NOTES

PROJECT NAME:	RENTON REGIONAL FIRE AUTHORITY STATION 11 - GENERATOR REPLACEMENT
PROJECT ADDRESS:	211 MILL AVE S RENTON, WA 98057
PROJECT DESCRIPTION:	REPLACE (E) GENERATOR w/ (N) 50 KW DIESEL GENERATOR w/ 229-GAL INTEGRAL TANK AND SOUND ATTENUATED ENCLOSURE. REPLACE (E) CONCRETE PAD AND BOLLARDS.
OWNER:	RENTON REGIONAL FIRE AUTHORITY 18002 108TH AVE SE RENTON, WA 98055 425.430.7740 CONTACT: KYLE KAUZLARICH kkauzlarich@rentonrfa.org
ARCHITECT:	BRODERICK ARCHITECTS 55 S. ATLANTIC STREET, SUITE 301 SEATTLE, WA 98134 206.682.7525 206.682.7529 (F) CONTACT: MICHELE HILL michele@broderickarchitects.com
PARCEL NUMBER:	723150-0960
LEGAL DESCRIPTION:	RENTON TOWN OF LESS ALLEY PLat Block: 10 Plat Lot: 15 THRU 19

SHEET INDEX

ARCHITECTURAL	
A1	TITLE SHEET & SITE PLAN
A2	ENLARGED PLAN & DETAILS
ELECTRICAL	
E000	LEGEND, GENERAL NOTES, DRAWING INDEX
E100	RISER DIAGRAM, FAULT & FEEDER SCHEDULES
E101	SITE PLAN
E300	POWER PLAN

PLANNING NOTES

JURISDICTION:	CITY OF RENTON
ZONING:	CD
OVERLAYS:	CITY CENTER SIGN REGULATION AREA, URBAN DESIGN DISTRICT A, DOWNTOWN BUSINESS DISTRICT
LOT AREA:	0.66 ACRES
HEIGHT:	EXISTING (NO CHANGE)
PARKING:	EXISTING (NO CHANGE)
ECAs:	SEISMIC HAZARD AREA A & WELLHEAD PROTECTION ZONE (ZONE 1) MAY BE PRESENT ON SITE PER CITY OF RENTON COR MAPS (ACCESSED 6/4/19)
SEPA:	THIS PROJECT IS EXEMPT FROM SEPA REVIEW: TANK OF <10,000 GAL.
NOISE:	THE PROPOSED GENERATOR WILL INCLUDE A SOUND ATTENUATED ENCLOSURE TO ENSURE NOISE LEVELS AT THE PROPERTY LINES DO NOT EXCEED 60 dBA (MAX FOR COMMERCIAL ZONING, CLASS B EDNA NOISE SOURCE & RECEIVING PROPERTY PER WAC 173-60-030).
SCREENING:	THE PROPOSED GENERATOR WILL INCLUDE AN EQUIPMENT CABINET IN THE FORM OF A SOUND ATTENUATED ENCLOSURE TO MEET THE SCREENING REQUIREMENTS OF RMC 4-4-095. CABINET TO BE PAINTED TO MATCH ADJACENT BUILDING. SOME (E) LANDSCAPING TO REMAIN FOR ADDITIONAL SCREENING.



BID SET 8/7/19

RENTON REGIONAL FIRE AUTHORITY:

STATION 11 - GENERATOR REPLACEMENT

211 MILL AVE S • RENTON, WA 98057

BRODERICK ARCHITECTS

55 S. ATLANTIC STREET, SUITE #301
SEATTLE, WASHINGTON 98134

NO.	DESCRIPTION
1	PERMIT SET
2	BID SET

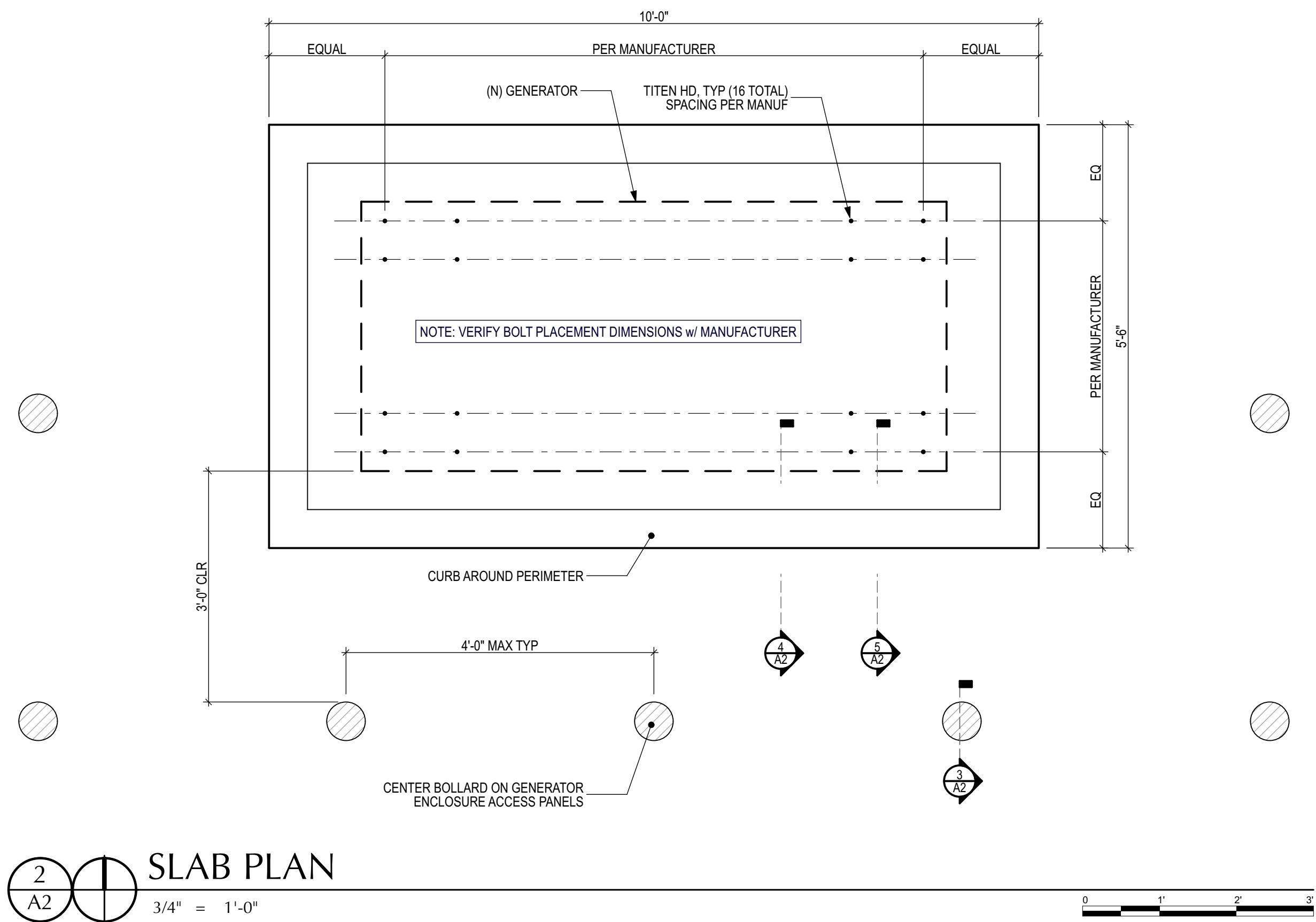
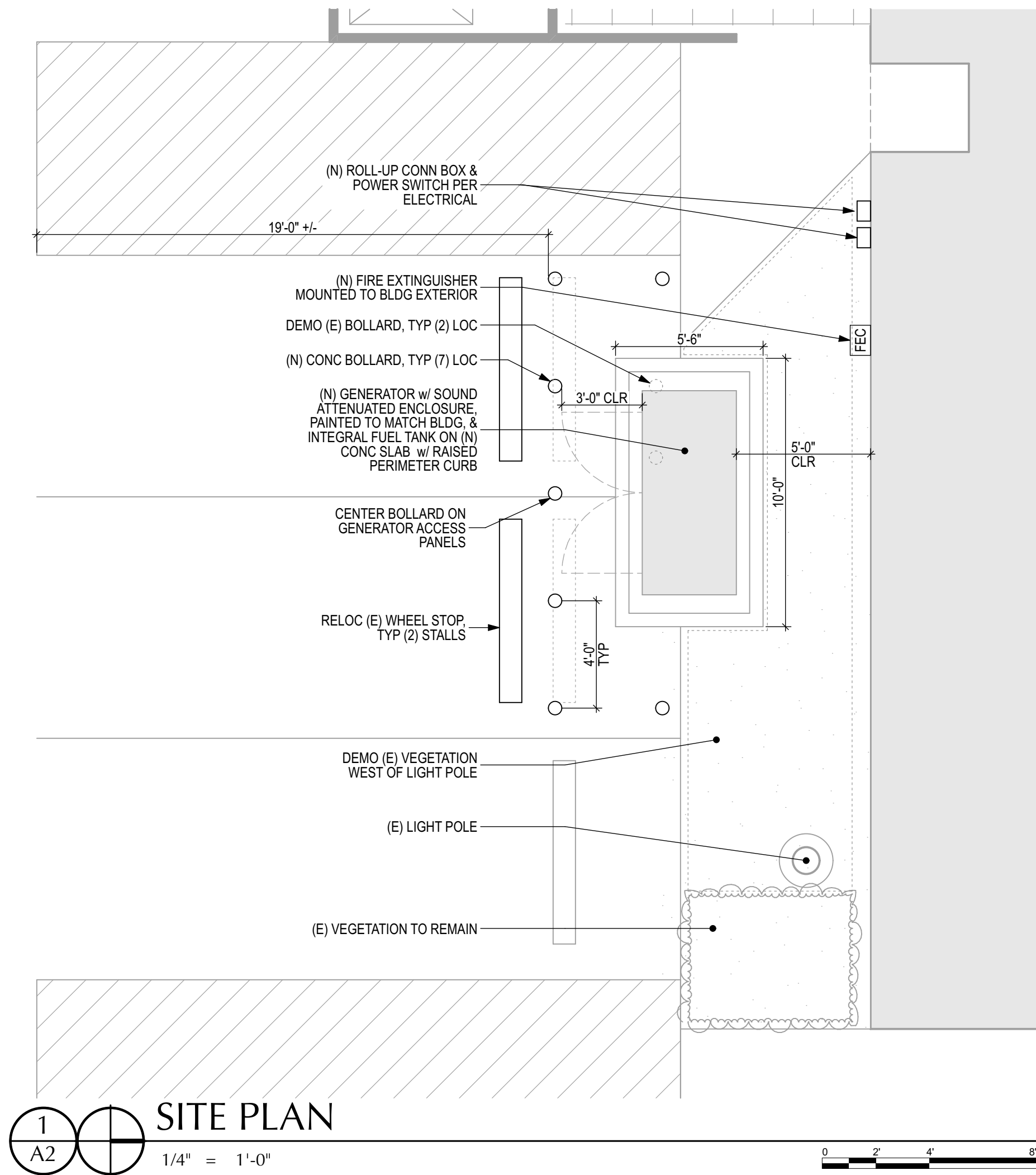
DEDICATED APPROVAL STAMP SPACE

BID SET 8/7/19

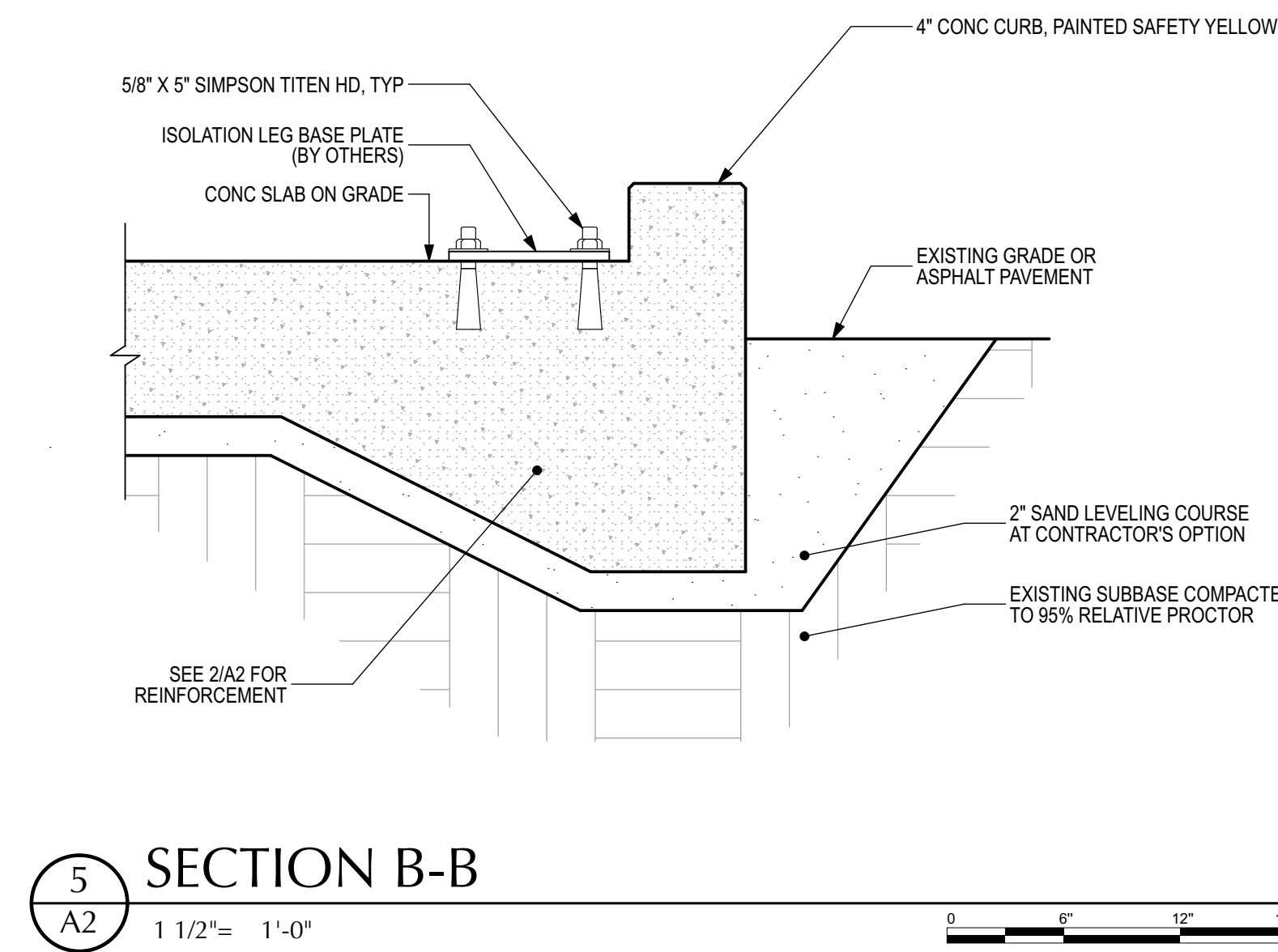
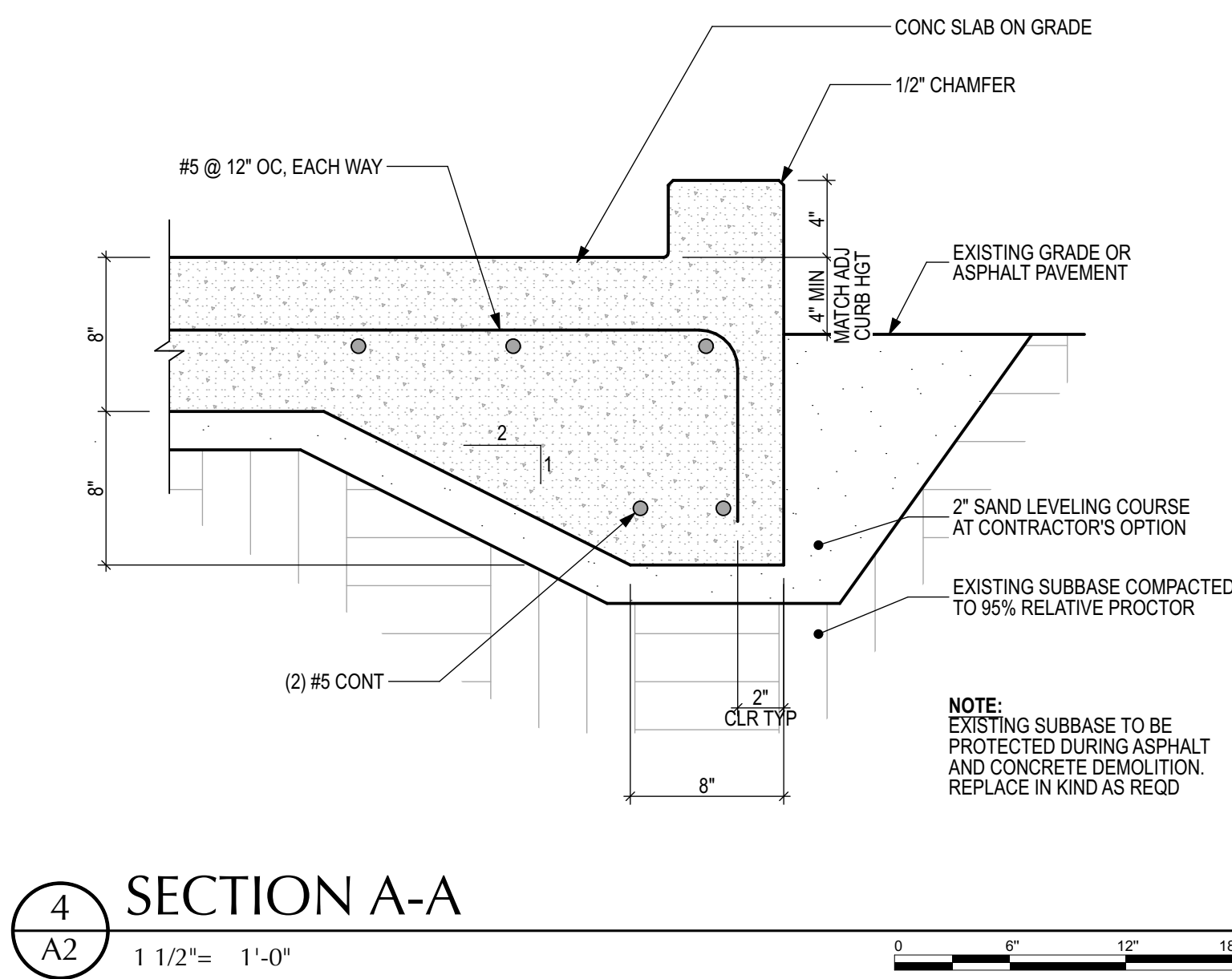
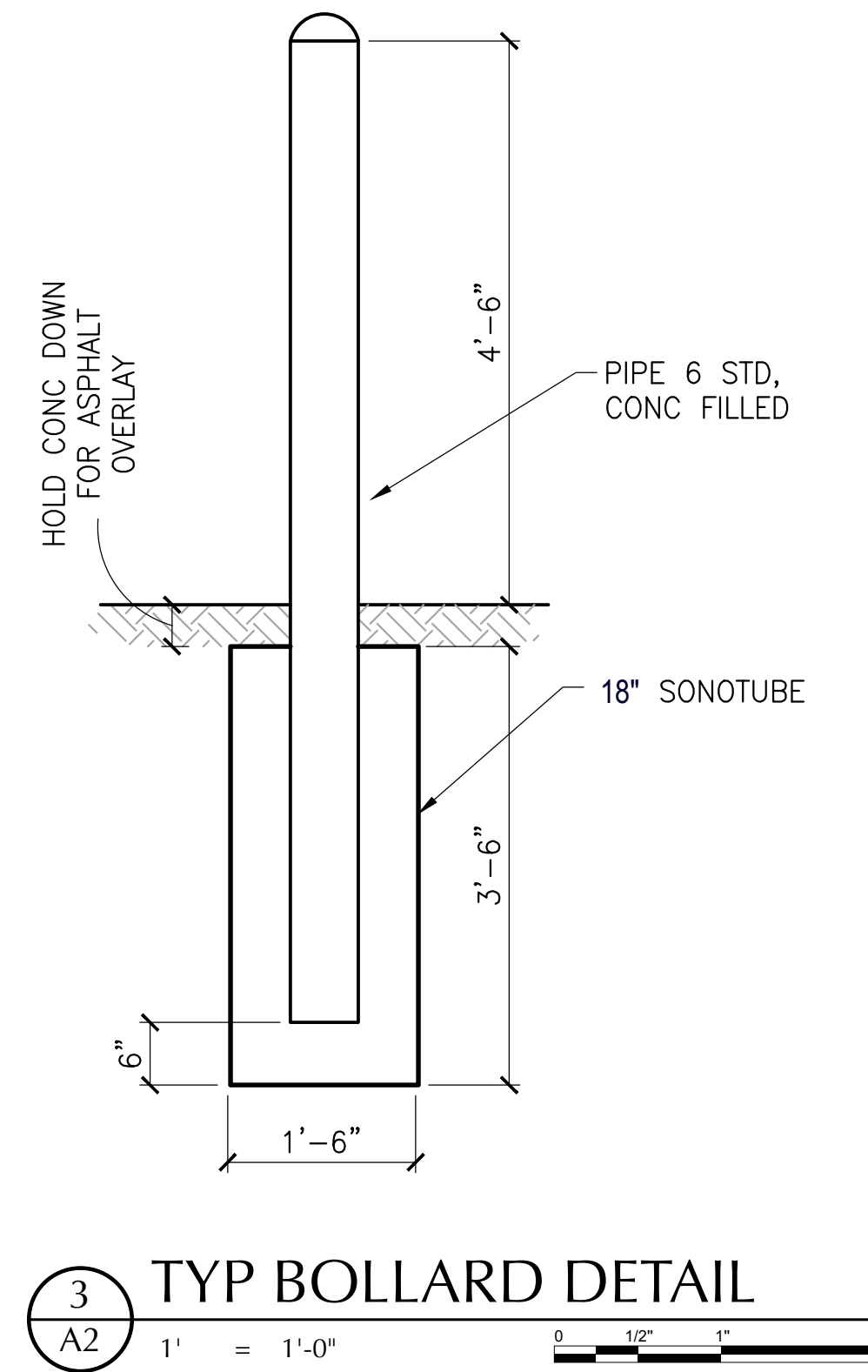
TITLE SHEET & SITE PLAN

A1

THIS DOCUMENT REPRESENTS A PRELIMINARY DESIGN OWNED BY THE ARCHITECT AND SHALL NOT BE USED ON OTHER PROJECTS OR ADDED TO THE PROJECT OR FOR COMPARISON OF THIS PROJECT BY OTHERS EXCEPT BY PROGRAM MANAGEMENT IN WRITING. COPYRIGHT © 2022 AIA ON Thursday, August 7, 2023 BY BRODERICK ARCHITECTS, PLLC



- NOTES:**
1. CONCRETE SHALL BE 4500 PSI CONCRETE W/ 6% AIR ENTRAINMENT AND 0.45 MAX W/C RATIO. MAX NOMINAL AGGREGATE SIZE SHALL BE 3/4" AND ALL AGGREGATE SHALL MEET ASTM C33.
 2. REINFORCING STEEL SHALL BE ASTM A615, GR 60.
 3. ALL DIMENSIONS TO BE VERIFIED AGAINST ARCHITECTURAL PLAN BEFORE CONSTRUCTION. LAP SPLICE REBAR WHERE REQUIRED. #5 REBAR SHALL LAP 47".
 4. PERIODIC INSPECTION OF POST-INSTALLED ANCHORS SHALL BE PROVIDED IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS AND THE ICC-ES REPORT.



BID SET 8/7/19

RENTON REGIONAL FIRE AUTHORITY:

STATION 11 - GENERATOR REPLACEMENT

211 MILL AVE S • RENTON, WA 98057

11/2022 POST DATE: 8/7/19 Author: HJ 10/22 L1 Renton Fire Authority - Station 11 Generator_A252 10/2022 HJ

NO.	DATE	DESCRIPTION
1	8/7/19	PERMIT SET
2	8/7/19	BID SET

DEDICATED APPROVAL STAMP SPACE

BID SET 8/7/19

ENLARGED PLAN & DETAILS

A2

1. REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR THE EXACT LOCATION OF ALL CEILING MOUNTED DEVICES.
2. REFER TO ARCHITECTURAL INTERIOR ELEVATION DRAWINGS, WHERE THE ARCHITECT HAS DRAWN SUCH ELEVATIONS, FOR THE LOCATIONS OF ALL WALL MOUNTED DEVICES.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2014 NATIONAL ELECTRIC CODE AND ALL STATE AUTHORITIES HAVING JURISDICTION.
4. MINIMUM CONDUIT SIZE: ALL CIRCUIT HOMERUNS AND ALL CONDUIT -AND-WIRE CIRCUITS SHALL BE #12 AWG UNLESS OTHERWISE NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS.
5. MINIMUM SIZE CONDUIT SHALL BE 1/2" DIAMETER. INSTALL A MINIMUM OF THREE 1/2" EMPTY SPARE CONDUITS FROM EACH RECESSED PANELBOARD TO THE CEILING SPACE ABOVE.
6. ALL CONDUIT PENETRATIONS THROUGH THE ROOF TO SERVE MECHANICAL EQUIPMENT SHALL BE WITHIN THE ASSOCIATED EQUIPMENT ROOF CURB. COORDINATE LOCATIONS OF PENETRATIONS WITH THE MECHANICAL CONTRACTOR.
7. PROVIDE ACCESS DOORS IN WALLS AND CEILINGS WHERE ACCESS TO CONCEALED ELECTRICAL BOXES AND DEVICES IS REQUIRED.
8. FROM EACH VOICE/DATA OUTLET BOX, STUB 1" C. TO CEILING SPACE FOR VOICE/DATA CABLES. TERMINATE CONDUIT WITH END BUSHING, UNLESS SHOWN OTHERWISE.
9. CONDUIT, LIGHT FIXTURES, AND OTHER COMPONENTS MAY BE SHOWN LARGER THAN ACTUAL SIZE. CONDUIT ROUTING IS SHOWN WITH AN EXAGGERATED SPACING FOR CLARITY. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH ALL CONTRACTORS TO ENSURE CONDUIT PLACEMENT DOES NOT CONFLICT WITH LOCATION SENSITIVE COMPONENTS SUCH AS LIGHT FIXTURES.
10. INTEGRATED EQUIPMENT RATINGS SHOWN ARE MINIMUMS. CONTRACTOR SHALL PROVIDE MANUFACTURER'S EQUAL OR NEXT HIGHER STANDARD RATINGS.
11. ALL PULL CORD/WIRE PROVIDED FOR EMPTY RACEWAY/CONDUIT SYSTEMS SHALL HAVE A MINIMUM STRENGTH OF 200 LBS TENSILE STRENGTH. ALL EMPTY CONDUITS SHALL HAVE A PULL CORD.
12. THE ELECTRICAL CONTRACTOR SHALL OBTAIN ALL PERMITS AND PAY SUCH FEES AS MAY BE NECESSARY FOR INSPECTIONS, TESTS, AND OTHER SERVICES NECESSARY FOR THE COMPLETION OF THEIR WORK.
13. COORDINATE DEVICE WALL PLATE SECTION WITH ARCHITECT PRIOR TO PURCHASING. MATCH NEW WITH EXISTING DEVICE WALL PLATES WHERE PRACTICABLE.
14. ALL LAY-IN LIGHTING FIXTURES SHALL BE CONNECTED TO A BRANCH CIRCUIT JUNCTION BOX WITH A FLEXIBLE FIXTURE TAIL. A MAXIMUM OF FOUR FIXTURE TAILS SHALL BE CONNECTED TO A SINGLE JUNCTION BOX. FIXTURE TO FIXTURE WIRING OF LAY-IN LIGHTING FIXTURES IS NOT PERMITTED, EXCEPT WHERE MASTER/SLAVE FIXTURE PAIRS ARE INDICATED OR SPECIFIED.
15. THERE SHALL BE NO SPLICES OF WIRING INSIDE PANELBOARDS OR DISCONNECT SWITCHES. ONLY ONE WIRE SHALL BE TERMINATED TO ANY SINGLE LUG ON A CIRCUIT BREAKER.
16. ALL WIRING AND CONDUIT SIZES SHALL BE BASED ON THE REQUIREMENTS OF THE 2014 NATIONAL ELECTRICAL CODE.
17. UNLESS OTHERWISE NOTED, FOR LIGHTING AND RECEPTACLE HOMERUNS HAVING A TOTAL LENGTH OF 100' TO 200', USE #10 CONDUCTORS; FOR HOMERUNS HAVING A TOTAL LENGTH OF 200' OR GREATER, USE #8 CONDUCTORS.
18. COORDINATE THE REQUIREMENTS FOR OVERCURRENT PROTECTIVE DEVICE SIZE, DISCONNECT SWITCH SIZE, AND CONDUCTOR AND CONDUIT SIZES WITH THE REQUIREMENTS OF THE MECHANICAL EQUIPMENT THAT IS ACTUALLY TO BE INSTALLED AND PROVIDE AND INSTALL ALL ELECTRICAL COMPONENTS AS REQUIRED. THE ELECTRICAL COMPONENT SHOWN ON THESE DRAWINGS IS BASED UPON THE REQUIREMENTS FOR THE SPECIFIED MECHANICAL EQUIPMENT AVAILABLE AT THE TIME OF DESIGN. VARIATIONS IN REQUIREMENTS MAY OCCUR AS A RESULT OF THE PROVISION OF OTHER MANUFACTURER'S EQUIPMENT OR IN CHANGES TO THE SPECIFIED EQUIPMENT. SUCH REVISED REQUIREMENTS ARE A PART OF THIS CONTRACT AND SHALL BE ACCOMMODATED WITHOUT ADDITIONAL CHARGE.
19. FOR COORDINATION PURPOSES, LIGHTING FIXTURES AND DEVICES MAY BE MOVED A MAXIMUM DISTANCE OF FIVE FEET, PRIOR TO INSTALLATION, AT NO COST TO THE OWNER, UPON INSTRUCTION BY THE ARCHITECT OR ENGINEER.
20. COORDINATE THE EXACT LOCATION OF ALL THERMOSTATS, STARTERS, DISCONNECTS, ETC. AND COORDINATE ALL REQUIREMENTS FOR CONTROL AND POWER WIRING WITH THE MECHANICAL CONTRACTOR, EMS CONTRACTOR, OR THE TRADE PROVIDING THE EQUIPMENT.
21. WHERE RECEPTACLES ARE SHOWN BACK-TO-BACK ON A COMMON WALL, OFFSET THE TWO BOXES AT LEAST SIX INCHES.
22. PROVIDE LUGS AS REQUIRED FOR ALL ELECTRICAL EQUIPMENT TO ACCEPT THE SIZE AND NUMBER OF CONDUCTORS SHOWN IN THESE DOCUMENTS.
23. PROVIDE THE TYPE OF MOUNTING HARDWARE AND TRIM NECESSARY FOR THE PROPER INSTALLATION OF SPECIFIED LIGHTING FIXTURES IN THE TYPE OF CEILING WHERE INSTALLED.
24. EXTERIOR CONDUIT RUNS MINIMUM 24" BELOW FINISHED GRADE.
25. ALL CONDUCTORS SHALL BE THW/THHN UNLESS OTHERWISE INDICATED. TERMINATIONS SHALL BE RATED FOR 75 DEGREES C MINIMUM. DEVIATIONS SHALL COMPLY WITH NEC ARTICLE 110-14(c) FOR EXACT EQUIPMENT BEING PROVIDED.
26. COORDINATE AND PAY FOR ALL REQUIREMENTS FOR POWER WITH THE LOCAL POWER COMPANY AND ALL REQUIREMENTS FOR TELEPHONE SERVICE AND TO CREATE PATHWAY WITH THE LOCAL TELEPHONE COMPANY.
27. COORDINATE EXACT LOCATION OF ALL LIGHTING FIXTURES IN ELECTRICAL/MECHANICAL SPACES WITH EQUIPMENT, DUCTWORK AND PIPING.
28. IT IS THE INTENT OF THESE DRAWINGS AND OTHER RELATED DOCUMENTS TO PRODUCE A COMPLETE AND FUNCTIONING ELECTRICAL SYSTEM. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIAL AND OTHER SERVICES AS MAY BE NECESSARY TO ACHIEVE THIS PRODUCT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES IN THE PLANS AND SPECIFICATIONS THAT WILL AFFECT THE WORK, PRIOR TO SUBMISSION OF HIS BID PRICE.
29. THE CONTRACTOR SHALL GUARANTEE ALL HIS WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE BY OWNER.
30. PANELBOARD DIRECTORYS SHALL BE UPDATED TO REFLECT ALL WORK DONE AS PART OF THIS PROJECT. PROVIDE TYPED PANEL SCHEDULES UPON COMPLETION.
31. PAINTED FIRE RETARDANT PLYWOOD BACKBOARDS AS INDICATED ON THE DRAWING ARE TO BE FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR.
32. CONTRACTOR TO REMOVE ALL UNUSED EXISTING EQUIPMENT, CONDUIT, J-BOXES AND CONDUCTORS. MAKE SAFE

SWITCH, SPST, 20A, 120/277V

Ⓢ CEILING MOUNTED SWITCH WITH OCCUPANCY CONTROL ALONG WITH DIMMING CAPABILITY FOR DAYLIGHT HARVESTING. SENSOR-SENSOR SWITCH #CMR-PDT-ADC

Ⓞ CEILING MOUNTED OCCUPANCY SENSOR SWITCH #CMR-PDT 9

TV TV - PROVIDE JUNCTION BOX IN WALL WITH 1" CONDUIT TO NEAREST AVAILABLE CEILING SPACE. SEE SECURITY SYSTEM DRAWINGS FOR WIRING

DUPLEX RECEPTACLE - CONTROLLED

Ⓢ SIMPLEX RECEPTACLE, NEMA 5-20R, 20A, 125V

Ⓢ DUPLEX RECEPTACLE, NEMA 5-20R, 20A, 125V

W/P GFI CH DUPLEX RECEPTACLE - "WP" DENOTES WEATHERPROOF, "GFI" DENOTES GROUND FAULT CIRCUIT INTERRUPTER "CH" DENOTES ABOVE COUNTER HEIGHT

Ⓢ QUADRUPLEX RECEPTACLE. NEMA 5-20R, 20A, 125V

QUADRUPLEX RECEPTACLE - CONTROLLED

Ⓢ DUPLEX RECEPTACLE FLOOR BOX

QUAD RECEPTACLE FLOOR BOX

Ⓢ DUPLEX CEILING RECEPTACLE

① +② JUNCTION BOX

CONDUIT RUN, CONCEALED, WALL OR CEILING

▽ DATA OUTLET, SEE GENERAL NOTE 9

▲ PANELBOARD - FLUSH OR SURFACE MOUNT AS INDICATED ON PLAN SCHEDULE

PLYWOOD TERMINAL BOARD, FOR TELEPHONE SYSTEM
4" X 8" X 3/4" UNLESS OTHERWISE NOTED.

•||• GROUND CONNECTION

① DRAWING NOTE REFERENCE (I.E., NOTES BY SYMBOL)

Ⓢ CONTROLLED CIRCUIT

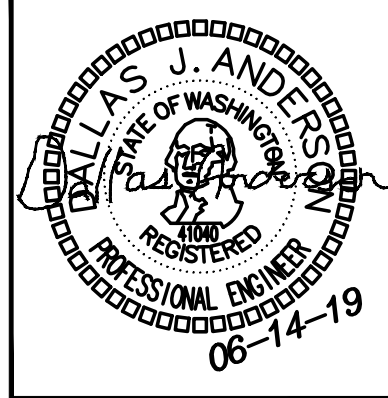
Ⓢ BATTERY BANK

Ⓢ FUSED DISCONNECT SWITCH

A	AMPS	kV	KILOVOLT
ACT	ABOVE COUNTERTOP	kVA	KILOVOLT-AMPS
AFF	ABOVE FINISHED FLOOR	kVAR	KILOVOLT-AMPS REACTIVE
AFG	ABOVE FINISHED GRADE	kW	KILOWATT
AIC	AMPERE INTERRUPTING CURRENT	kWh	KILOWATT-HOUR
ATS	AUTOMATIC TRANSFER SWITCH	L	LENGTH
AWG	AMERICAN WIRE GAUGE	LB	POUNDS
BKR	BREAKER	LRA	LOCKED ROTOR AMPS
C	CONDUIT	LTG	LIGHTING
CCTV	CLOSED CIRCUIT TELEVISION	MCA	MINIMUM CIRCUIT AMPACITY
CH	COUNTER HEIGHT	MCB	MAIN CIRCUIT BREAKER
CKT	CIRCUIT	MH	METAL HALIDE
CLG	CEILING	MLO	MAIN LUGS ONLY
CU	COPPER, CONDENSING UNIT	N/A	NOT APPLICABLE
DC	DIRECT CURRENT	NEC	NATIONAL ELECTRICAL CODE
DIS	DISCONNECT	NEMA	NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION
DPDT	DOUBLE-POLE, DOUBLE-THROW	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
EMG	ENERGY MANAGEMENT SYSTEM	NO	NUMBER
EMT	ELECTRICAL METALLIC TUBING	N/O,N/C	NORMALLY OPEN, NORMALLY CLOSED
EWG	ELECTRIC WATER COOLER	OC	ON CENTER
FA	FIRE ALARM	OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
FACP	FIRE ALARM CONTROL PANEL	PF	POWER FACTOR
FLA	FULL LOAD AMPS	PH	PHASE
FT	FOOT, FEET	PROVIDE	FURNISH AND INSTALL
G	GROUND	PVC	POLYVINYL CHLORIDE
GA	GAUGE	RLA	RUNNING LOAD AMPS
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	SPDT	SINGLE POLE DOUBLE THROW
GND / GRD	GROUND	SPST	SINGLE POLE SINGLE THROW
GRS	GALVANIZED RIGID STEEL	TS	TRANSFER SWITCH
H	HEIGHT	TYP	TYPICAL
HID	HIGH INTENSITY DISCHARGE	UL	UNDERWRITERS LABORATORIES, INC.
HOA	HAND-OFF-AUTO	U.O.N.	UNLESS OTHERWISE NOTED
HP	HORSEPOWER	V	VOLT
HVAC	HEATING, VENTILATING AND AIR CONDITIONING	VA	VOLT-AMPERE
HZ	HERTZ	VAC	VOLTS ALTERNATING CURRENT
IG	ISOLATED GROUND	W	WATT, WIDTH
IMC	INTERMEDIATE METAL CONDUIT	WP	WEATHERPROOF
IN	INCH, INCHES	WT	WATERIGHT, WEIGHT
J-BOX	JUNCTION BOX	XFMR	TRANSFORMER
kcmil	1000 CIRCULAR MILS		

CONTRACTOR SUBSTITUTIONS & REVISIONS: PLEASE SUBMIT PROPOSALS FOR SUBSTITUTIONS OR REVISIONS FOR REVIEW AND APPROVAL PRIOR TO ORDERING MATERIAL OR DOING WORK. FOR EQUIPMENT THAT IS SCHEDULED BY MANUFACTURER'S NAME AND CATALOG DESIGNATIONS, THE MANUFACTURER'S PUBLISHED DATA AND/OR SPECIFICATION FOR THAT ITEM ARE CONSIDERED PART OF SPECIFICATION. ENGINEERING COSTS FOR REVISING MEP PLANS SHALL BE ADDRESSED IN THE COST ANALYSIS OF THE SUBSTITUTION PROPOSAL. CONTRACTOR TO COORDINATE WITH ENGINEER AND DETERMINE ASSOCIATED DESIGN AND PERMITTING COSTS. CONTRACTOR SHALL BE RESPONSIBLE FOR OTHER COSTS ASSOCIATED WITH UNFORESEEN ISSUES RESULTING FROM SUBSTITUTIONS OR REVISIONS.

<u>DRAWING NO</u>	<u>DESCRIPTION</u>
E000	LEGEND, GENERAL NOTES, & DRAWING INDEX
E100	ONE-LINE, PANEL, FAULT, & FEEDER SCHEDULES
E101	SITE PLAN
E300	POWER PLAN

[illegible]

DRAWN: EBL
DESIGNED: EBL
CHECKED: DJA
APPROVED: DJA

PROJECT:	RENTON RFA STATION 11
	211 MILL AVE. S. RENTON WA 98055
<hr/>	
ROBISON	19401 10TH AVE W, SUITE 302 LYNNWOOD, WA 98036 PHONE: (206) 364-3343
<u>ENGINEERING, INC</u>	

DATE: 6/14/19

SHEET TITLE:
**LEGEND,
GENERAL NOTES,
& DRAWING INDEX**

SHEET NO.
E000

EMERGENCY GENERATOR REQUIREMENTS:

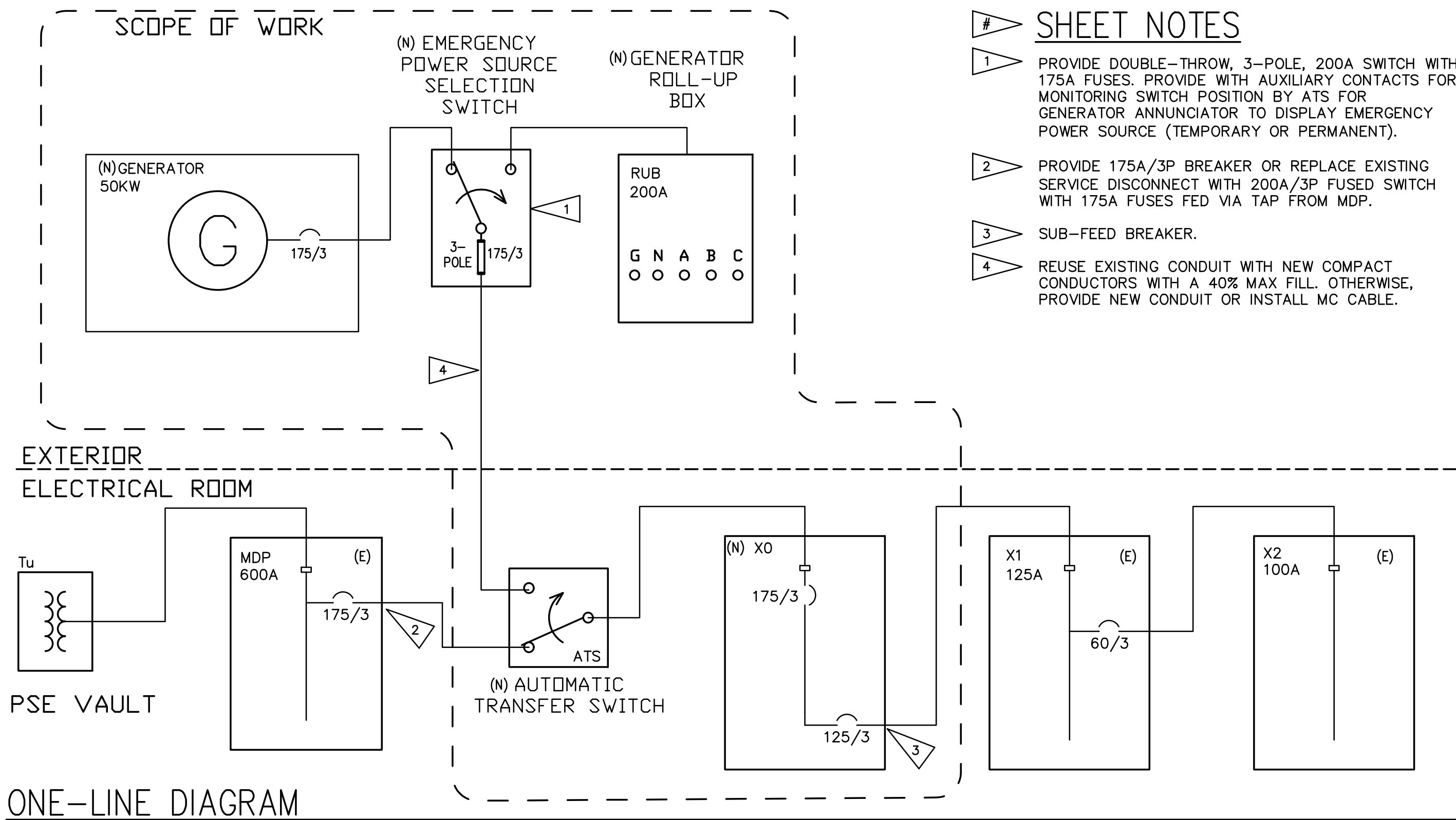
1. ACCEPTABLE MFRS: KOHLER, CUMMINS, CATERPILLAR, MTU
2. FUEL: DIESEL
3. CAPACITY: 36 HOURS.
4. VOLTAGE: 120/208V 3-PHASE, 60 HZ
5. LISTED TO UL 2200
6. COMPLIANT WITH CITY OF RENTON REQUIREMENTS
7. CBC SEISMIC CERTIFIED
8. STEEL WEATHERPROOF AND SOUND ATTENUATING ENCLOSURE FOR OUTDOOR LOCATION
9. ENCLOSED EXHAUST SILENCER
10. DOUBLE-SHELL CONTAINMENT BELLY TANK
11. MINIMUM 36 HOUR FUEL CAPACITY AT FULL LOAD
12. COMPLIANT WITH WA EMISSIONS STANDARDS
13. ELECTRONIC IGNITION AND ELECTRONIC GOVERNOR
14. FULL PRESSURE LUBRICATION
15. 120V BATTERY CHARGER AND BATTERIES
16. STANDARD COOLING SYSTEM WITH 120V COOLANT HEATER
17. HIGH TEMP, LOW OIL PRESSURE, LOW COOLANT LEVEL, OVERCRANK AND OVER SPEED SHUTDOWNS
18. RUNNING TIME METER
19. AUTOMATIC TRANSFER SWITCHES AS INDICATED ON ONE-LINE DIAGRAM
20. UL LISTED OUTPUT CIRCUIT BREAKERS AS INDICATED ON ONE-LINE DIAGRAM, 80% RATED
21. GENERATOR CONTROL PANEL
22. REMOTE ANNUNCIATOR PANEL
23. DRY CONTACTS IN CONTROL PANEL FOR FIRE ALARM MONITORING
24. START-UP, TEST AND COMMISSIONING
25. FIRE/LIFE SAFETY TESTING IN COORDINATION WITH FIRE ALARM AND SMOKE CONTROL TESTING
26. SHOP DRAWING SUBMITTALS
27. TWO-YEAR WARRANTY

FEEDER SCHEDULE

FEEDER AMPS	CONDUIT AND FEEDER	FEEDING THESE DEVICES
110	1-1/2" C, 3#1, #1N, #6G COMPACT XHHW CU	X1
175	1-1/2" C, 3#2/0, #2/0N, #6G CU	ATS, ATS, RUB, TS, TS, X0

FAULT CURRENT SCHEDULE

DEVICE	FAULT	AIC RATING	L-N VOLTS	UTILITY FAULT	FED FROM	FEEDER	
					DEVICE	SIZE	LENGTH
GEN	1,857		120V	1,736			
TS	1,834	10,000	120V	1,713	RUB / GEN	#2/0	15' / 20'
ATS	13,840	14,000	120V	13,718	MDP / TS	#2/0	24' / 91'
X0	11,714	22,000	120V	11,592	ATS	#2/0	17'
X1	10,047	22,000 (e)	120V	9,925	X0	#1	13'



SHEET NOTES

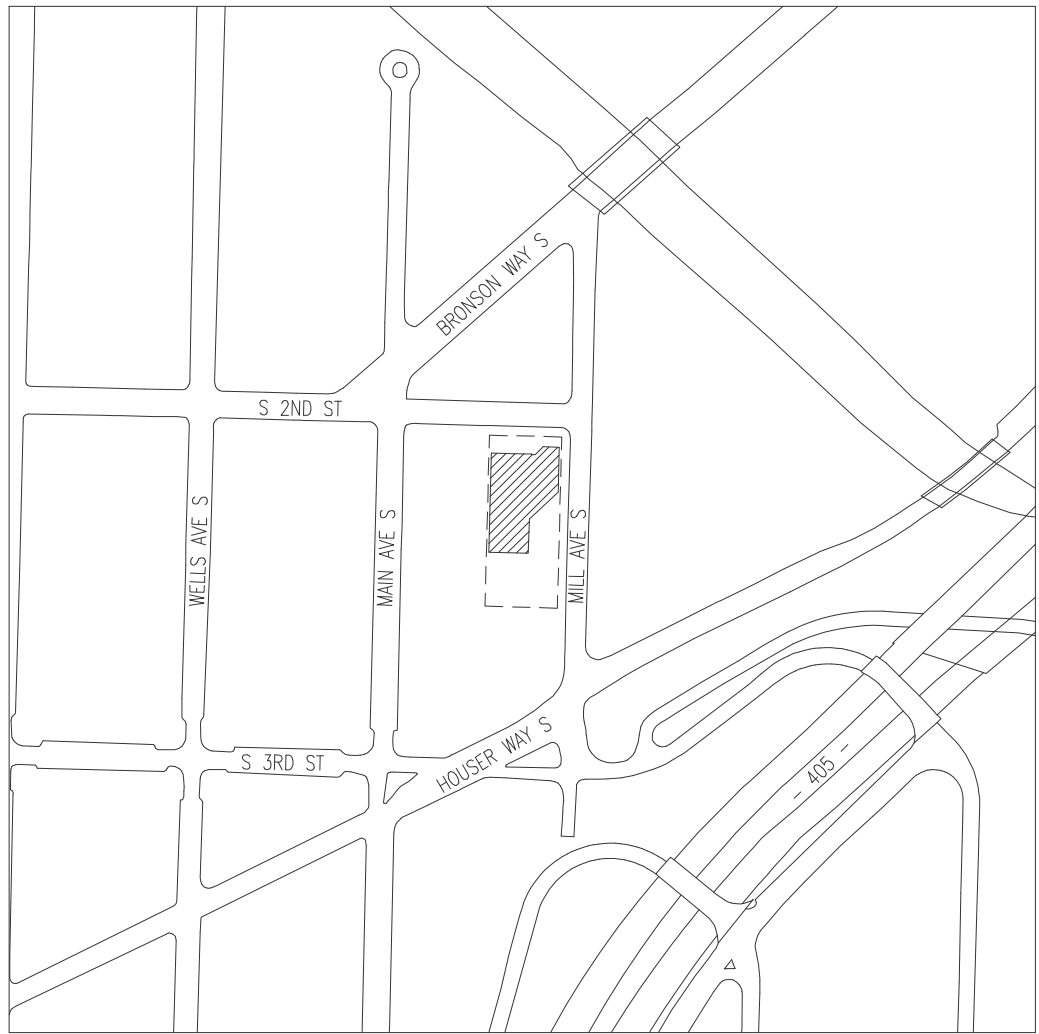
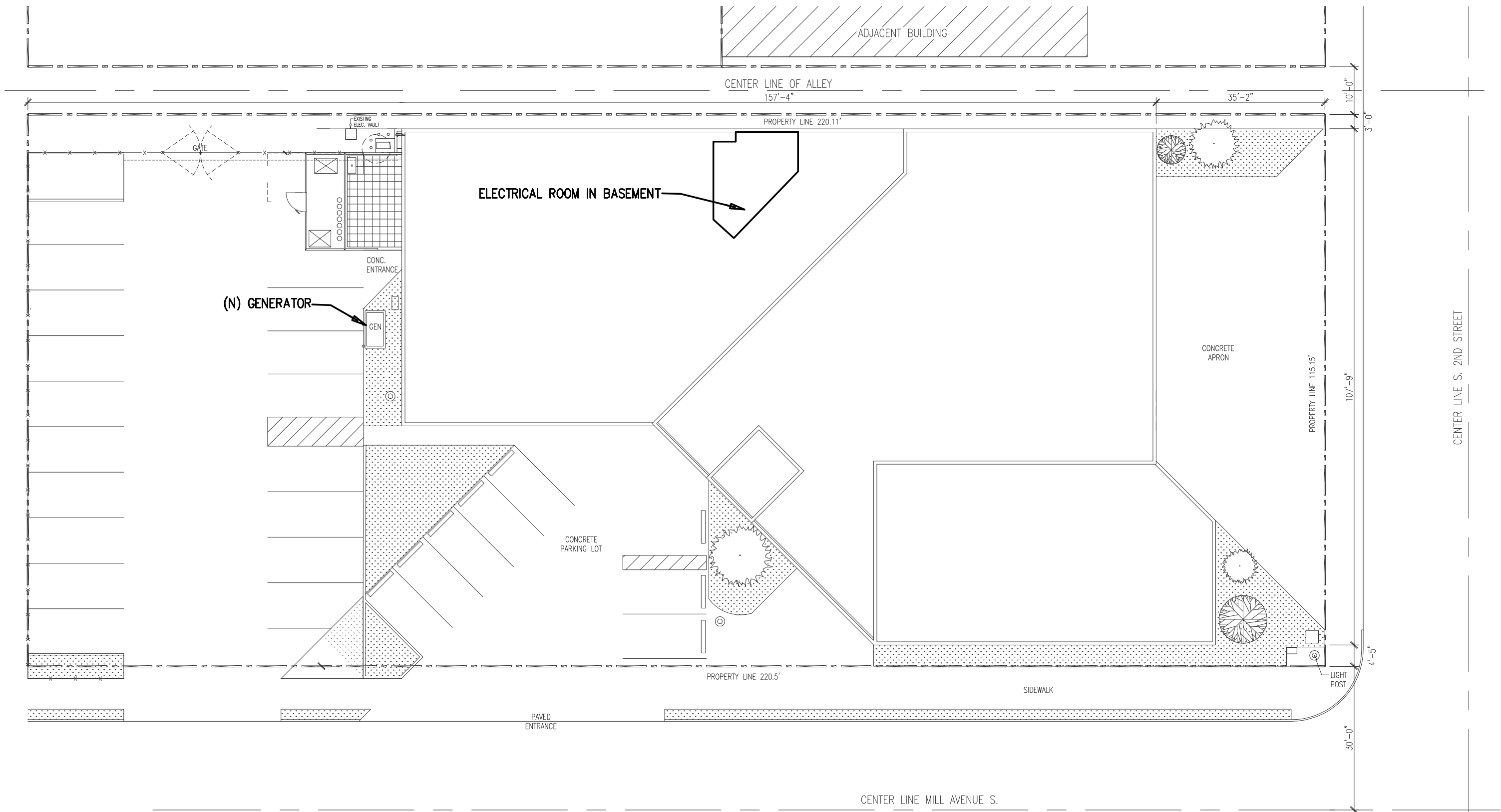
1. PROVIDE DOUBLE-THROW, 3-POLE, 200A SWITCH WITH 175A FUSES. PROVIDE WITH AUXILIARY CONTACTS FOR MONITORING SWITCH POSITION BY ATS FOR GENERATOR ANNUNCIATOR TO DISPLAY EMERGENCY POWER SOURCE (TEMPORARY OR PERMANENT).
2. PROVIDE 175A/3P BREAKER OR REPLACE EXISTING SERVICE DISCONNECT WITH 200A/3P FUSED SWITCH WITH 175A FUSES FED VIA TAP FROM MDP.
3. SUB-FEED BREAKER.
4. REUSE EXISTING CONDUIT WITH NEW COMPACT CONDUCTORS WITH A 40% MAX FILL. OTHERWISE, PROVIDE NEW CONDUIT OR INSTALL MC CABLE.

Panel			ROOM			VOLTS 208Y/120V 3P 4W			AIC 22,000		
MDP			MOUNTING SURFACE			BUS AMPS 600			MAIN BKR MLO		
			FED FROM Tu			NEUTRAL 100%			LUGS STANDARD		
			NOTE								
CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION			CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION		
1	60/3	0	PANEL A (e) LOADS			a 2	60/3	0	PANEL C (e) LOADS		
3						b 4					
5						c 6					
7	60/3	0	PANEL M1 (e) LOADS			a 8	60/3	0	PANEL B (e) LOADS		
9						b 10					
11						c 12					
13	60/3	0	PANEL M2 (e) LOADS			a 14	175/3	30.3	TRANSFER SWITCH TS		
15						b 16					
17						c 18					
19	20/1	0	SPARE			a 20	20/1	0	SPARE		
21	20/1	0	SPARE			b 22	20/1	0	SPARE		
23	20/1	0	SPARE			c 24	20/1	0	SPARE		
			CONN KVA	CALC KVA					CONN KVA	CALC KVA	
LIGHTING			5.6	7	(125%)	RECEPTACLES			3.68	3.68	(50%>10)
LARGEST MOTOR			2.4	0.6	(25%)	KITCHEN EQUIPMENT			3	3	(100%)
MOTORS			11	11	(100%)	CONTINUOUS			6.5	8.13	(125%)
						NONCONTINUOUS			0.5	0.5	(100%)
						TOTAL LOAD			33.9		
						BALANCED 3-PHASE AMPS			94.2		
						PHASE A			87.3%		
						PHASE B			116%		
						PHASE C			96.9%		

Panel			ROOM			VOLTS 208Y/120V 3P 4W			AIC 22,000		
X0			MOUNTING SURFACE			BUS AMPS 200			MAIN BKR 175		
			FED FROM ATS			NEUTRAL 100%			LUGS STANDARD		
			NOTE								
CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION			CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION		
1	20/1	0	SPARE			a 2	20/1	0	SPARE		
3	20/1	0	SPARE			b 4	20/1	0	SPARE		
5	20/1	0	SPARE			c 6	20/1	0	SPARE		
7	20/1	0	SPARE			d 8	20/1	0	SPARE		
9	20/1	0	SPARE			b 10	20/1	0	SPARE		
11	20/1	0	SPARE			c 12	20/1	0	SPARE		
13	20/1	0	SPARE			a 14	20/1	0	SPARE		
15	20/1	0	SPARE			b 16	20/1	0	SPARE		
17	20/1	0	SPARE			c 18	20/1	0	SPARE		
19	20/1	0	SPARE			a 20	20/1	0	SPARE		
21	20/1	0	SPARE			b 22	20/1	0	SPARE		
23	20/1	0	SPARE			c 24	20/1	0	SPARE		
25	20/1	0	SPARE			a 26	125/3	30.3	PANEL X1		
27	20/1	0	SPARE			b 28					
29	20/1	0	SPARE			c 30					
			CONN KVA	CALC KVA					CONN KVA	CALC KVA	
LIGHTING			5.6	7	(125%)	RECEPTACLES			3.68	3.68	(50%>10)
LARGEST MOTOR			2.4	0.6	(25%)	KITCHEN EQUIPMENT			3	3	(100%)
MOTORS			11	11	(100%)	CONTINUOUS			6.5	8.13	(125%)
						NONCONTINUOUS			0.5	0.5	(100%)
						TOTAL LOAD			33.9		
						BALANCED 3-PHASE AMPS			94.2		
						PHASE A			87.3%		
						PHASE B			116%		
						PHASE C			96.9%		

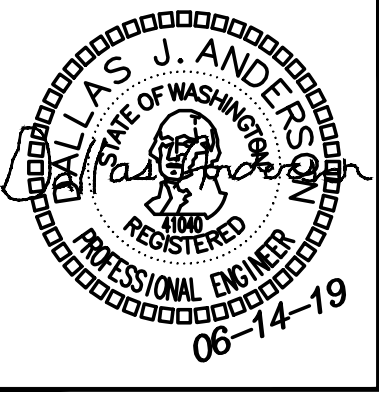
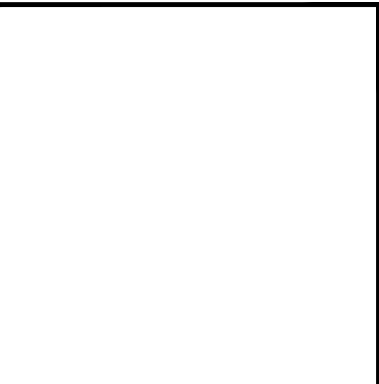
Panel			ROOM			VOLTS 208Y/120V 3P 4W			AIC 22,000		
X1			MOUNTING SURFACE			BUS AMPS 125			MAIN BKR MLO		
			FED FROM X0			NEUTRAL 100%			LUGS STANDARD		
			NOTE								
CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION			CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION		
1	20/1	0.5	EXIT & EMERG. LIGHTS			a 2	20/1	0.5	EMERGENCY LIGHTS		
3	20/1	0.3	ELECTRONIC POWER ALARM			b 4	20/1	1.5	EXIT LIGHTS, BASE RECEPTABLE		
5	20/1	1.2	DINING LIGHTS			c 6	20/1	0.1	SMOKE DET ALARM		
7	20/1	0.3	WATCH DESK RADIO			d 8	20/1	0.2	WATCH DESK LIGHTS		
9	20/1	0.2	DINING LIGHTS			b 10	20/1	1.5	KITCHEN COUNTER		
11	20/1	0.5	LIGHTS			c 12	20/1	0.8	GEN. BLOCK HEATER		
13	60/3	10.3	PANEL X2			a 14	20/2	1.92	MAINT. & ENG DOOR		
15						b 16					
17						c 18	20/2	1.92	LADDER & AID		
19	20/1	0.2	BATH LIGHTS			a 20					
21	20/1	1.5	KITCHEN RECEPTACLE			b 22	20/2	1.92	BACK DOOR		
23	20/1	1.2	REFRIGERATORS			c 24					
25	20/1	1.2	KITCH REFER.			a 26	20/1	0.2	GAS VALVES		
27	20/1	1	AID CAR			b 28	20/1	0.18	RECEPTACLE		
29	20/1	0.9	RECEPTACLE			c 30	20/1	0.3	CONTROL ALARM SYSTEM		
			CONN KVA	CALC KVA					CONN KVA	CALC KVA	
LIGHTING			5.6	7	(125%)	RECEPTACLES			3.68	3.68	(50%>10)
LARGEST MOTOR			2.4	0.6	(25%)	KITCHEN EQUIPMENT			3	3	(100%)
MOTORS			11	11	(100%)	CONTINUOUS			6.5	8.13	(125%)
						NONCONTINUOUS			0.5	0.5	(100%)
						TOTAL LOAD			33.9		
						BALANCED 3-PHASE AMPS			94.2		
						PHASE A			87.3%		
						PHASE B			116%		
						PHASE C			96.9%		

Panel			ROOM			VOLTS 208Y/120V 3P 4W			AIC 22,000		
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SITE PLAN
SCALE: 1"=20'

NO.	DATE	DESCRIPTION	REVISIONS



DRAWN: EBL
DESIGNED: EBL
CHECKED: DJA
APPROVED: DJA

PROJECT: RENTON RFA STATION 11

DATE: 6/14/19

211 MILL AVE S
RENTON WA 98055

19401 40TH AVE W, SUITE 302
LYNNWOOD, WA 98036
PHONE: (206)364-3343

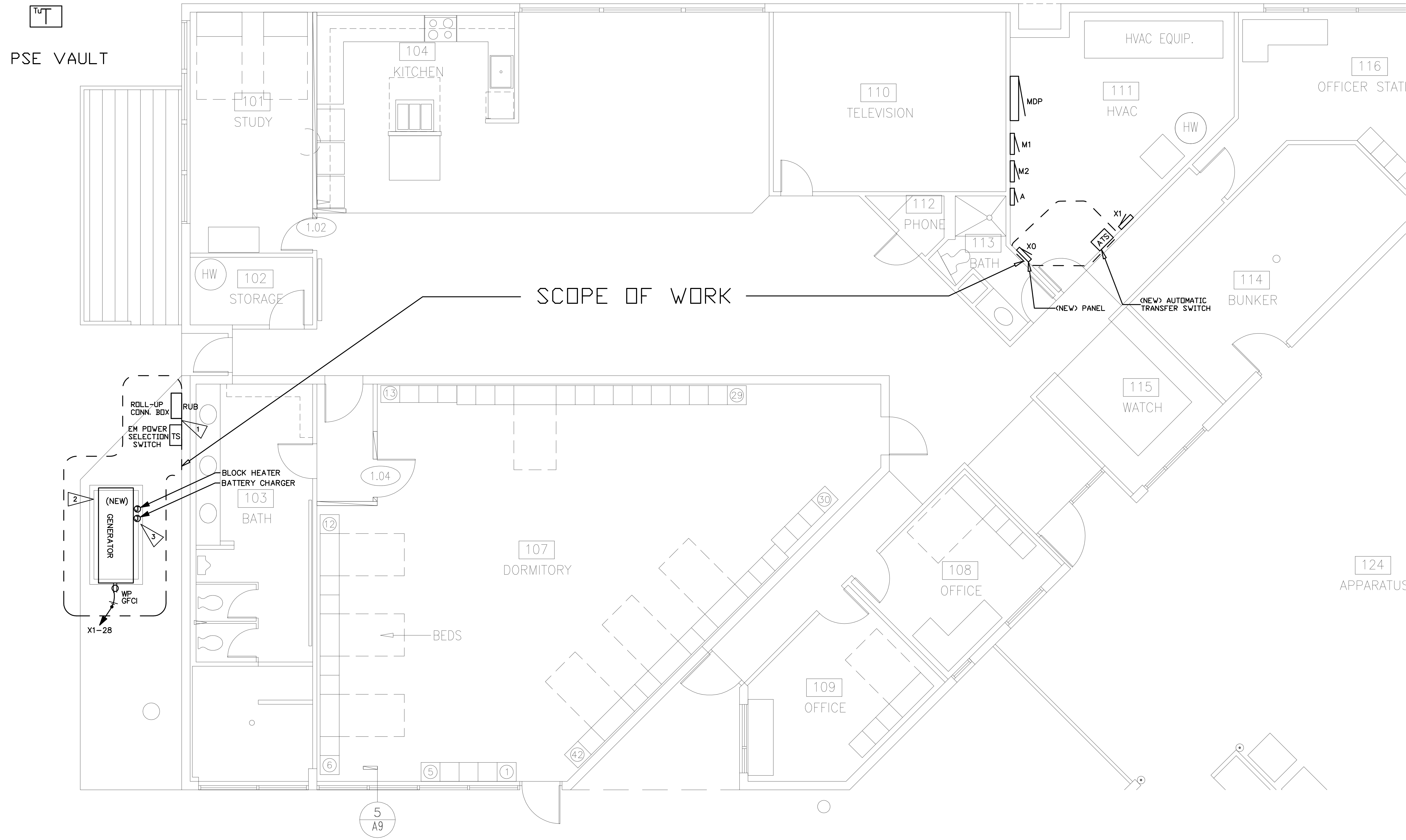
ROBISON

ENGINEERING, INC

SHEET TITLE:

SITE PLAN

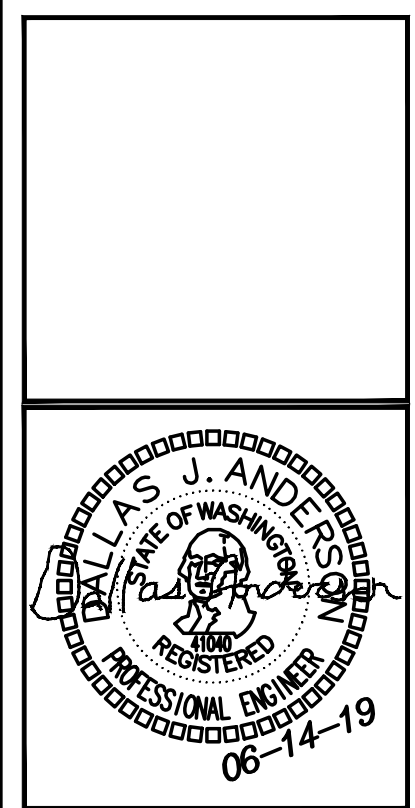
SHEET NO.
E101



POWER PLAN
SCALE: 1/4"=1'

- # SHEET NOTES
- 1 PROVIDE LOCKABLE NEMA 3R ENCLOSURES FOR GENERATOR ROLL-UP CONNECTION BOX AND EMERGENCY POWER SELECTION SWITCH.
 - 2 REPLACE CONCRETE GENERATOR PAD PER MANUFACTURER RECOMMENDATIONS.
 - 3 CONNECT BLOCK HEATER AND BATTERY CHARGER TO EXISTING CIRCUITRY.

REVISIONS		DESCRIPTION	DATE	NO.



DRAWN: EBL	DESIGNED: EBL	CHECKED: DJA	APPROVED: DJA
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PROJECT: RENTON RFA STATION 11

211 MILL AVE S
RENTON WA 98055

19401 40TH AVE W, SUITE 302
LYNNWOOD, WA 98036
PHONE: (206) 364-3343

ROBISON
ENGINEERING, INC.

DATE: 6/14/19

SHEET TITLE:
POWER PLAN

SHEET NO.
E300